

Recording Cover Sheet

An Ordinance Approving A Special Use Permit
(1202 E. Harding Dr. / Plan Case 2469-SU-23 - Steer Place
Renovations)
[Ordinance No. 2023-06-017]

2024R03797
REC ON: 03/28/2024 02:34:35 PM
CHAMPAIGN COUNTY
AARON AMMONS
REC FEE: 51.00
RHSPS FEE:
STATE TAX:
COUNTY TAX:
PLAT ACT:
PAGES: 29

Prepared for recording by:

Darcy E. Sandefur, City Clerk

400 S. Vine St., Urbana, IL 61801

Return to:

Darcy E. Sandefur, City Clerk
City of Urbana
400 S. Vine Street
Urbana, IL 61801

CLERK'S CERTIFICATE

STATE OF ILLINOIS)
)
COUNTY OF CHAMPAIGN) SS

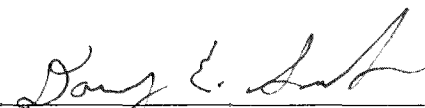
I, DARCY E. SANDEFUR, City Clerk of the City of Urbana, Illinois, and keeper of the records, files and seal of said City, do hereby certify that the foregoing is a true and exact copy of an ordinance entitled:

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT
(1202 E. Harding Dr. / Plan Case 2469-SU-23 - Steer Place Renovations)**

approved by the City Council of the City of Urbana, Illinois, on the 12th day of June, AD, 2023,
as it appears in the records and files in my office remaining.

Given under my hand and seal of said City of Urbana, Illinois, this 28th day of March,
AD, 2024.





Darcy E. Sandefur, City Clerk

ORDINANCE NO. 2023-06-017

AN ORDINANCE APPROVING A SPECIAL USE PERMIT

(1202 E. Harding Dr. / Plan Case 2469-SU-23 – Steer Place Renovations)

WHEREAS, the City of Urbana (“City”) is a home rule unit of local government pursuant to Article VII, Section 6, of the Illinois Constitution, 1970, and may exercise any power and perform any function pertaining to its government and affairs, and the passage of this Ordinance constitutes an exercise of the City’s home rule powers and functions as granted in the Illinois Constitution, 1970; and

WHEREAS, 1919 Architects, on behalf of the Housing Authority of Champaign County, has petitioned the City for approval of a special use permit to allow renovations of Steer Place apartments at 1202 East Harding Drive, a property in the Southeast Urbana Overlay District; and

WHEREAS, the Zoning Ordinance requires a special use permit for renovations of multifamily buildings within the Southeast Urbana Overlay District for which estimated construction costs total more than 50% of the building’s estimated market value; and

WHEREAS, the proposed renovations would be conducive to the public convenience, as they would allow Steer Place apartments to continue serving as an affordable housing resource for the Urbana Community; and

WHEREAS, the proposed renovations would not be injurious or detrimental to the R-6 zoning district, or injurious to the general public, as they would improve conditions at an existing site; and

WHEREAS, the proposed renovations would conform to the regulations and standards of, and preserve the essential character of, the R-6 zoning district; and

WHEREAS, the proposed renovations are consistent with the 2005 Comprehensive Plan as it pertains to protection and preservation of Urbana’s neighborhoods; and

WHEREAS, the location, size, and type of development on the site would be unchanged by the proposed renovations; and

WHEREAS, the proposed renovations conform to guidelines contained in Section XIII-8 of the Urbana Zoning Ordinance, Southeast Urbana Overlay District; and

WHEREAS, after due publication, the Urbana Plan Commission held a public hearing on May 18, 2023, and voted with five (5) ayes, and zero (0) nays to forward Plan Case 2469-SU-23 to the Urbana City Council with a recommendation to approve the request for a special use permit, subject to the conditions specified in Section 1 herein; and

WHEREAS, approval of the special use permit, with the condition set forth below, is consistent with the requirements of Section VII-4 of the Urbana Zoning Ordinance, Special Use Procedures, and with the general intent of that section of the Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Urbana, Illinois, as follows:

Section 1.

A Special Use Permit is hereby approved to allow renovations of Steer Place apartments at 1202 East Harding Drive, a property in the Southeast Urbana Overlay District, with the following condition: Construction must be in general conformance with the attached project scope, entitled “Project Scope – 1202 East Harding Drive” (Attachment 1) and with the attached site plans, entitled “Site Plans – 1202 East Harding Drive” (Attachment 2).

Legal Description:

Lots 544 and 545 in Ennis Ridge Seventh Subdivision, as per Plat Recorded Book "O" at Page 36, Situated in Champaign County, Illinois and Lots 626-629 in Ennis Ridge Eighth Subdivision, as per Plat Recorded in Plat Book "P" at Page 9, situated in Champaign County, Illinois

P.I.N.: 93-21-21-176-017 Address: 1202 East Harding Drive, Urbana, Illinois

Section 2.

Upon approval of this Ordinance, the City Clerk is directed to record a certified copy of this Ordinance with the Champaign County Office of Recorder of Deeds. The City Clerk is directed to publish this Ordinance in pamphlet form by authority of the corporate authorities, and this Ordinance shall be in full force and effect from and after its passage and publication in accordance with Section 1-2-4 of the Illinois Municipal Code.

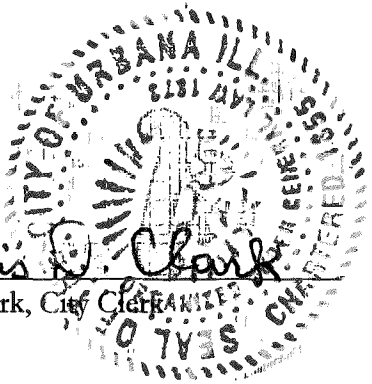
This Ordinance is hereby passed by the affirmative vote, the “ayes” and “nays” being called, of a majority of the members of the Council of the City of Urbana, Illinois, at a meeting of said Council.

PASSED BY THE CITY COUNCIL this 12th day of June, 2023.

AYES: Wu, Hursey, Kolisetty, Bishop, Quisenberry

NAYS: None

ABSTENTIONS: Evans, Wilken


Phyllis D. Clark
Phyllis D. Clark, City Clerk

APPROVED BY THE MAYOR this 18th day of August, 2023.

Diane Wolfe Marlin
Diane Wolfe Marlin, Mayor



CERTIFICATE OF PUBLICATION IN PAMPHLET FORM



I, Phyllis D. Clark, certify that I am the duly elected and acting Municipal Clerk of the City of Urbana, Champaign County, Illinois. I certify that on the 12th day of June, 2023 the City Council of the City of Urbana passed and approved Ordinance No. 2023-06-017 entitled:

AN ORDINANCE APPROVING A SPECIAL USE PERMIT

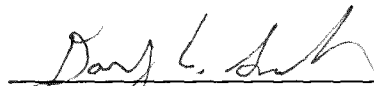
(1202 E. Harding Dr. / Plan Case 2469-SU-23 - Steer Place Renovations)

which provided by its terms that it should be published in pamphlet form.

The pamphlet form of Ordinance No. 2023-06-017 was prepared, and a copy of such Ordinance was posted in the Urbana City Building commencing on the 18th day of August, 2023, and continuing for at least ten (10) days thereafter. Copies of such Ordinance were also available for public inspection upon request at the Office of the City Clerk.

Dated at Urbana, Illinois, this 18th day of August, 2023.





Darcy E. Sandefur, Deputy City Clerk

Attachment 1: Project Scope – 1202 East Harding Drive

Steer Place Apartments

I. INFORMATION & CONDITIONS

- A. Project Scope Summary: This is a 108-unit midrise building which will be rehabilitated. The current accessible units will be remodeled to meet current ADA codes and additional units will be remodeled to meet IHDA's 10% Accessible unit requirements and the Illinois Accessibility codes adaptable units' requirements. Detailed Scope of Work as follows:

Environmental Testing Results

- Asbestos Containing Materials Found – (see full report)
 - o Found in some floor tiles, drywall joint compound and rope gasket in stairwell
 - o Soil testing and mediation at previously removed UST
 - o Radon system for the building

Gut Rehab Renovation

- o Address any environmental findings

Exterior

- o Caulk and seal exterior as needed
- o Repair concrete sidewalks around building as needed
 - North and East sidewalk areas are uneven and broken
- o Repair and paint guard / handrails on East side
- o Replace exterior lighting with LED fixtures / bulbs
- o Replace Asphalt parking lots and drive areas
- o Replace soffit lighting with modern LED fixtures
- o Repair areas of damaged fence and extend fencing around the site
- o Remove and place roof membrane with TPO roofing system
- o Replace roof hatch and install new hatch with guard rails
- o Accessible landscaping on one side yard and rear yard
- o Outdoor entertainment area with available seating to accommodate 25% of the residents
- o Exterior security camera system

Common areas, Hallways & Offices

- o Replace flooring with LVT type product
- o Replace drywall
- o Paint walls and ceilings
- o Remodel elevator cabs and upgrade elevator from hydraulic to electric
- o Replace switches and outlets and install new covers

- Install new sink and toilet shut offs (1/4 turn)
- Install new braided toilet supply lines with EFV valve
- Replace common area kitchen appliances
 - Energy star rated
 - Locally sourced
- Upgrade all lighting to LED
 - (90% are already upgraded)
- Replace bathroom Faucets
- Insulate accessible hot water lines
- Install smart programable thermostats in common area and offices
- Replace security cameras and install additional where needed
 - Interior and exterior
- Lever door hardware on all doors
- Rocker light switches
- Facility wide security camera system
- New computer room
- Adjustable shelving in the common area closets

Units

- Replace flooring with LVT type product
- Replace cove base molding
- Remove and replace drywall
- Paint all walls and ceilings
- Replace all appliances and provide VRF air conditioning
 - Energy star rated
 - Locally sourced
- Remove and replace Doors and casing
- Replace kitchen cabinets, countertops and sink (accessible sink depth). Cabinets with accessible handles/touch latches for doors and drawers
- Replace kitchen and bath faucets
- Replace bath fans
- Replace self-closing hardware on doors
 - Original hardware no longer working
- Remove locking hardware from entry door handle and install dead bolt and new non-locking handle
- Replace electrical panel
- Install GFCI outlet or breaker where required
- Replace unit lighting with LED type fixtures
- Replace switches and outlets and install new coves
- Replace living room smoke detector and add additional one in bedroom
- Replace shower valve and shower heads along with new shower unit and surrounds

- Replace faucet and toilet shutoff valves
- Replace toilet supply line with braided type with included EFV valve
- Replace windows with new thermally broken aluminum windows
- Entry door with dual viewers
- Lever door hardware on all doors
- Rocker light switches
- Microwave hood in every unit and countertop microwave for Accessible units.
- Adjustable shelving in the closets
- Under cabinet lights under wall cabinets
- Energy Star ceiling fans in living room and bedroom

Mechanical

- Replace emergency generator
 - Install new gas line
- Insulate accessible hot water lines after replacing domestic water lines
- Replace waste and vent piping
- Replace roof top Make up Air unit
- Replace trash compactor system

The ground floor will be completely renovated with new finishes and lighting. The units themselves will be renovated with new flooring, and microwave ovens. Each of the unit's kitchens will be renovated to provide more cabinet space and a better functioning layout. Project amenities will include community room, computer room, fitness center, and new library incorporated into the community room with a complete renovation with new finishes and lighting.

- B. Description of the projects construction: The present structure is a poured concrete system with use of precast concrete members and an exposed concrete and brick veneer. Replacement of designated exterior and common area doors.

II. GENERAL REQUIREMENTS

a. Structural Design Summary and Design Criteria

1. Code Regulatory Review requirements of all components
 - a. Building: International Building Code (IBC 2009) with local amendments
 - b. International Existing Building Code (IEBC 2009)
 - c. Mechanical: International Mechanical Code (IMC 2009) with local amendments
 - d. Electrical: National Electric Code (NEC 2008) with local amendments
 - e. International Fuel Gas Code (IFGC 2009) with local amendments
 - f. International Fire Code (IFC 2009)

- g. Plumbing Code: Illinois Department of Public Health Plumbing Code (Current addition)
- h. Accessibility: Illinois Accessibility Code
- i. Energy Conservation: International Energy Conservation Code (IECC 2021)

2. Loads:

- a. Dead Loads:
 - i. Roof Trusses= 10 PSF Top Chord, 10 PSF Bottom Chord
 - ii. Floor Trusses= 15 PSF Top Chord, 5 PSF Bottom Chord
 - iii. Wood Framed Walls= 10 PSF Interior, 10 PSF Exterior
 - iv. 8" CMU= 55 PSF
- b. Live Loads:
 - i. Private Rooms and Corridors Serving Them= 40 PSF
 - ii. Public Rooms and Corridors Serving Them= 100 PSF
- c. Snow Loads:
 - i. Ground Snow Load (P_g)= 30 PSF
 - ii. Snow Load Importance Factor= 1.0
 - iii. Exposure Factor (C_e)= 0.9 (Fully Exposed)
 - iv. Thermal Factor= 1.1
- d. Wind Loads:
 - i. Design Wind Load Based on Simplified Analysis
 - ii. Basic Wind Speed= 90 mph
 - iii. Exposure Category= C
- e. Seismic Loads:
 - i. Design Seismic Load Based on Simplified Analysis
 - ii. Spectral Response Acceleration: S_s = 0.052, S_1 = 0.037
 - iii. Site Class= D
 - iv. Spectral Response Coefficient: S_{ds} = 0.056, S_{d1} = 0.059
 - v. Seismic Importance Factor (I_e)= 1.0
 - vi. Seismic Use Group= II
 - vii. Seismic Design Category= A
 - viii. Seismic Force Resisting System= Bearing walls, light frame with wood shear walls
 - ix. Seismic Response Coefficient (R)= 6-1/2
- f. Soil Loads:
 - i. Frost Depth Protection= 42"

3. Sound Criteria
 - a. Walls: STC 50
 - b. Ceilings: STC 50
- b. Structural Framing System
 1. Floor Systems: Poured and precast concrete slabs with concrete topping.
 2. Roof Systems: Poured and precast concrete.
 3. Bearing Wall Systems: Masonry with brick veneer.
 4. Columns: Poured in place reinforced concrete.
 5. Foundation System: Formed cast in place concrete footings and foundation walls: 3,000 PSI
 6. Footing Requirements: Formed cast in place concrete spread footings
 7. Exterior Wall Construction: Concrete masonry units with brick veneer.

III. SITE CONSTRUCTION & DEMOLITION

- A. Present sidewalks and bituminous paving to be removed at the new construction additions. New concrete patio outside of the community room with modification of present bituminous removal paving.

IV. CONCRETE

- a. Cast-In-Place Concrete: 3,000 PSI Portland cement concrete
- b. Concrete topping: Light weight Portland cement concrete at 3,000 PSI

V. MASONRY

- a. Concrete Block: Standard units 16 x 8 inches, Load bearing units: ASTM C90, normal weight
- b. Brick: Modular units: Allowance \$650/1000

VI. METALS

- a. Structural Steel: Beams and Columns field bolted with ¾" ASTM A 325 Bolts
- b. Metal Fabrications
 1. Exterior Metal Fabrications: Loose lintels
- c. Cold form steel galvanized structural steel studs (2 x 6) with appropriate fasteners

VII. WOOD & PLASTICS

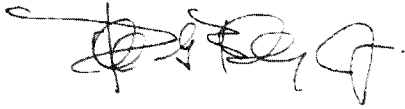
- a. Rough Carpentry
 1. 1/2" Den Glass Sheathing, R-13+R-7.5 continuous Insulation, 6mil vapor barrier, 1/2" drywall
 2. Party Walls: one- and two-hour assemblies
 3. Corridor Walls: Corridor and Unit Separation walls: 1 Hour rated 5/8" type drywall, both sides 2x6 stud, sound batts, and 1/2" resilient channels one side. (Where new walls are scheduled to be constructed)
 4. Interior Partition Walls: 1/2" drywall both sides, 2x4 walls, sound batts around bathrooms and rooms containing equipment, M.R. Drywall at wet locations
 5. Exterior Wall Sheathing: ½" Den Glass

- 6. Blocking: 2x lumber (Fire Treated)
 - b. Finish Carpentry
 - 1. Hardwood: Red Oak quarter sawn
 - 2. Prefinished Wood: Moldings and trim
 - c. Architectural Wood Casework
 - 1. Plastic Laminate countertops - Quartz as a Deductive Alternate
 - 2. Wood Casework Construction
 - 3. Cast Marble Fabrications
- VIII. THERMAL & MOISTURE PROTECTION
 - a. Horizontal Waterproofing Systems
 - b. Building Insulation: Blown in insulation: R-13+R-7.5 continuous walls at new construction areas and R-30 board insulation on the Roofs
 - c. Air and Moisture Barrier: Tyvek and or fluid applied
 - d. Sheet Metal Flashing & Trim: Prefinished Aluminum
 - e. Aluminum Soffit: soffit panels to match steel wall panels
 - f. TPO Roof Membrane
 - g. Firestopping: 3M products
 - h. Joint Sealant: Tremco silicone
- IX. DOORS & WINDOWS
 - a. Exterior Doors and Frames: Insulated steel doors and frames and Aluminum storefronts
 - b. Interior Doors and Frames: Prefinished wood flush panel doors
 - c. Door Hardware and Schedules: Grade 2 Schlage, Lever Handles
 - d. Access Doors and Panels: Milcor
 - e. Louver and Vents
 - f. Glass Glazing
 - 1. Exterior Glass Types: Low E, Argon Filled
 - 2. Interior Glass Types: Ceramic Fire Glazing
- X. FINISHES
 - a. Wallboard Systems: Gypsum Board Assemblies
 - b. Resilient Flooring: Luxury Vinyl wood plank flooring
 - c. Carpeting: Low cut pile direct glue down
 - d. Painting: Sherwin Williams
 - e. Acoustical Ceiling Tile: USG 2x2 and 2x4 with exposed aluminum "T" track (white)
- XI. SPECIALTIES, EQUIPMENT, AND FURNISHINGS
 - a. Signage: InPro Braille
 - b. Toilet and Bath Accessories (Unit and Public): American Specialties Stainless Steel
 - c. Wall and Corner Guards: InPro
 - d. Fire Protection Specialties: JL Industries 10# ABC Fire Extinguishers and cabinets
 - e. Manufactured Fireplaces
 - f. Postal Specialties: Authflorencia front loading mailboxes with parcel boxes
 - g. Wire Storage Shelving
- XII. EQUIPMENT
 - a. Residential Appliances: Energy Star Refrigerator, Electric Ranges, Rangehoods, and microwaves

- b. Common Area Appliances: Energy Star Refrigerator, Electric Ranges, Vented Rangehoods
- XIII. FURNISHINGS
 - a. Window Treatments: Aluminum Horizontal Louver Blinds with 1" slats
 - b. Residential Casework: Smart Cabinetry or equal
- XIV. CONVEYING SYSTEMS
 - a. Elevators
 - 1. Cabs to be renovated.
 - 2. New electric elevators. Machine room less
 - b. Waste Chutes: Wilkinson-Hi-Rise LLC
- XV. SPECIAL CONSTRUCTION
 - a. Wet Pipe Sprinkler System: NFPA 13 – changing heads to recessed in common areas.
 - b. Dry Pipe Sprinkler System: NFPA 13
- XVI. MECHANICAL
 - a. Air Distribution
 - 1. Common Areas: Insulated and un-insulated metal ducts
 - b. HVAC Equipment
 - 1. Common Areas: Hot water forced air units.
 - 2. Units: Hot water baseboard
 - 3. Replace RTU Make-up Air Unit
 - 4. Replace boiler circulation pumps as needed
 - 5. New energy VRF cooling units for the apartments
 - 6. New programmable thermostats
- XVII. PLUMBING
 - a. Piping: Type K Copper and PEX Tubing for water supply and PVC waste and vent piping, insulate exposed plumbing lines during construction.
 - b. Plumbing Fixtures: Low flow water Toilets, fiberglass shower units and surrounds, cultured marble vanities, and stainless-steel sinks with low flow water saving fixtures.
 - c. Replace Water Heater
 - d. Gas piping to generator
- XVIII. ELECTRICAL
 - a. Wiring: Copper wiring in conduit
 - b. Power
 - 1. Service Requirements: 3000 AMP 3 Phase
 - 2. Unit Requirements: 100 AMP panel
 - c. Light Fixtures: Energy Star rated fixtures
 - d. New receptacles and light switches – including new GFIC Receptacles
 - e. Install new generator
- XIX. ELECTRONIC SAFETY AND SECURITY
 - a. Replace security camera system to HD cameras
 - b. Replacement or addition of Smoke and CO2 detectors as addressable devices
- XX. EXTERIOR IMPROVEMENTS
 - a. Pavement sealing
 - b. Asphalt paving replacement and or patching
 - c. Concrete paving replacement

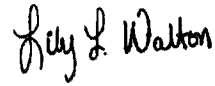
- d. Ornamental Steel Fencing Replacement/patching
- e. Landscaping upgrades and trimming

1919 Architects:



Ronald G. Billy, Jr., NCARB, LEED AP

Oak Grove Development Corporation



Lily Walton

Attachment 2: Site Plans – 1202 East Harding Drive

STEER PLACE APARTMENTS REHAB - SCATTERED SITES

PROJECT ADDRESS

OWNER:
 OAK CROVE DEVELOPMENT CORPORATION
 2008 N. VANDER ST.
 CHICAGO, ILL. 60637
 312.228.1186

ARCHITECT:
 1919 ARCHITECTS, P.C.
 4000 N. STATE ST. SUITE 200
 CHICAGO, ILL. 60617
 312.228.8222

ENGINEERS:
 FIREWORKS ENGINEERING
 7702 SHADLELAND AVE. SUITE 217
 NORTON MASS. 01945
 312.957.4244

DEVELOPMENT CONSULTANT:
 BERKLEY CONSULTING, INC.
 1000 N. LA SALLE ST.
 CHICAGO, ILL. 60610
 312.228.7233

CODE COMPLIANCE

TOTAL BUILDING SQUARE FOOT: 78,372 (SEE FLOOR PLANS)

2009 INTERNATIONAL BUILDING CODE
 2009 INTERNATIONAL RESIDENTIAL CODE
 2009 INTERNATIONAL FIRE PREVENTION CODE
 2009 INTERNATIONAL MECHANICAL CODE
 2008 NATIONAL ELECTRICAL CODE
 2014 ILLINOIS PLUMBING CODE
 2018 ILLINOIS ACCESSIBILITY CODE
 2010 ADA STANDARDS
 2018 ILLINOIS ENERGY CONSERVATION CODE

SHEET INDEX

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STATEMENT OF COMPLIANCE

I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF AND FAITH, ALL APPLICABLE CODES AND REGULATIONS HAVE BEEN FULLY OBSERVED AND ALL NECESSARY PERMITS OBTAINED.

Signature: _____
 Architect/Engineer
 ILLINOIS REGISTRATION NO. 001-023480
 Exp. Date: 1/28/24


THESE PLANS WERE PREPARED BY ME OR UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF AND FAITH, ALL APPLICABLE CODES AND REGULATIONS HAVE BEEN FULLY OBSERVED AND ALL NECESSARY PERMITS OBTAINED.

COVER SHEET	STEER PLACE APARTMENTS REHAB	DATE: 12-28-2023	BY: JMK	SCALE: AS SHOWN	PROJECT NO: 22-14370
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1919 ARCHITECTS

4000 N. STATE ST. SUITE 200
 CHICAGO, ILL. 60617
 312.228.8222

www.1919architects.com

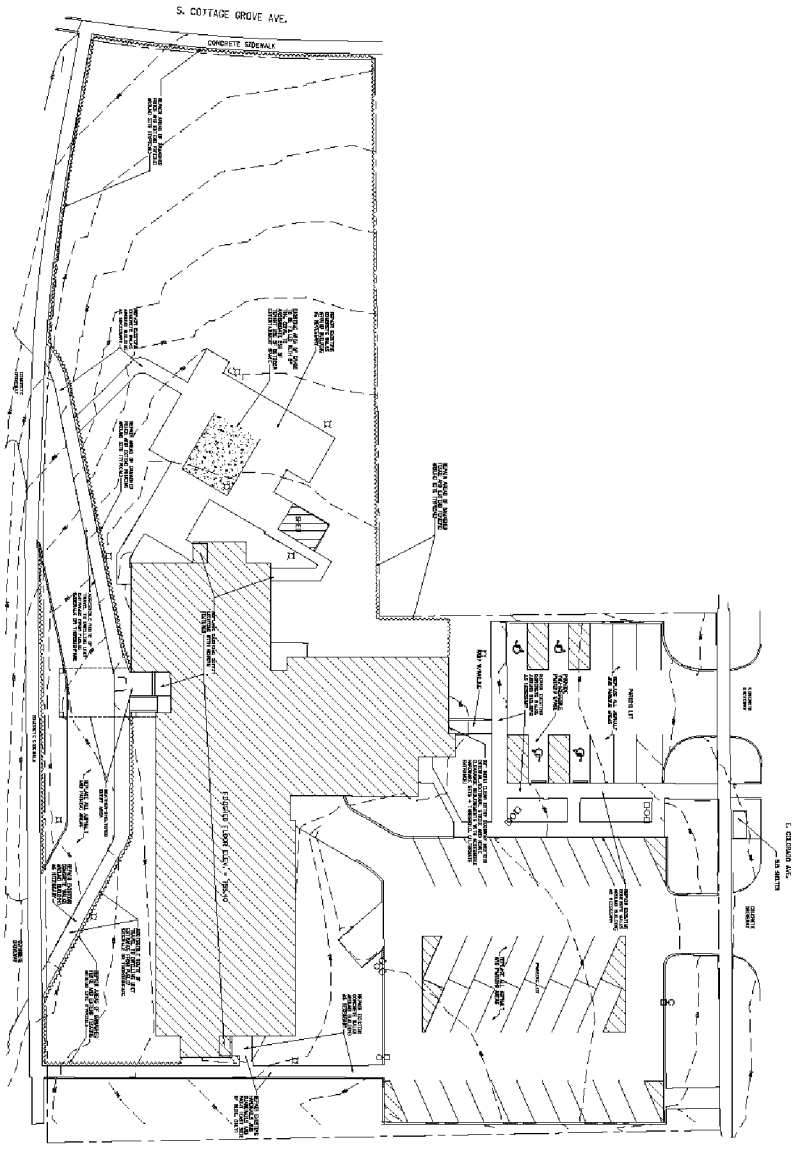


1919 ARCHITECTS

4000 N. STATE ST. SUITE 200
 CHICAGO, ILL. 60617
 312.228.8222

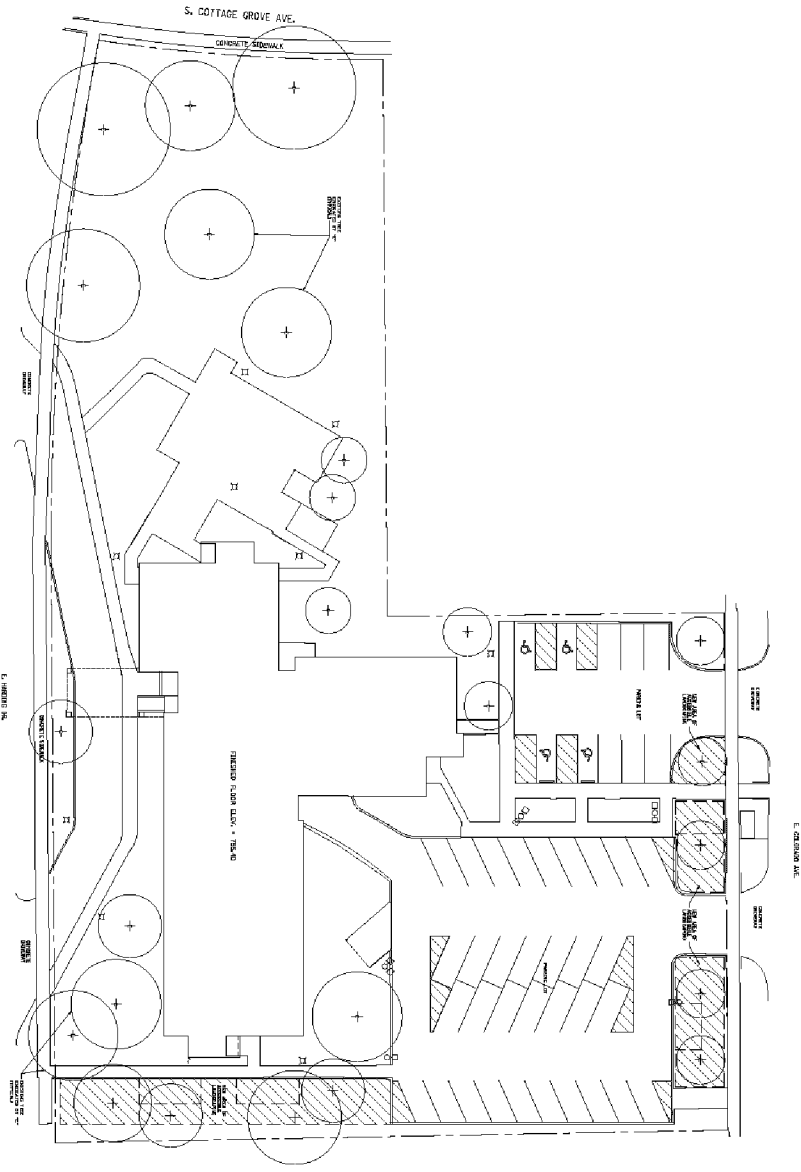
www.1919architects.com

1 SITE PLAN
SCALE 1" = 20'-0"



SITE PLAN C100	STEER PLACE APARTMENTS REHAB				OWNER	PROJECT	1919 Architects 600 North Dear Chicago, IL 60610 815.728.4222 www.1919architects.com	1919 Architects
	PROJECT NO.	22-14870	DATE	12-28-2022	DESIGNER	JMK		

LANDSCAPE PLAN
SCALE 1" = 20'-0"



LANDSCAPE PLAN	DATE	BY
L100		

STEER PLACE APARTMENTS REHAB			
OWNER	PROJECT		
23-XXXXX	02-13-2023	JMK	RGE
PROJECT NO.	DATE	BY	CHK

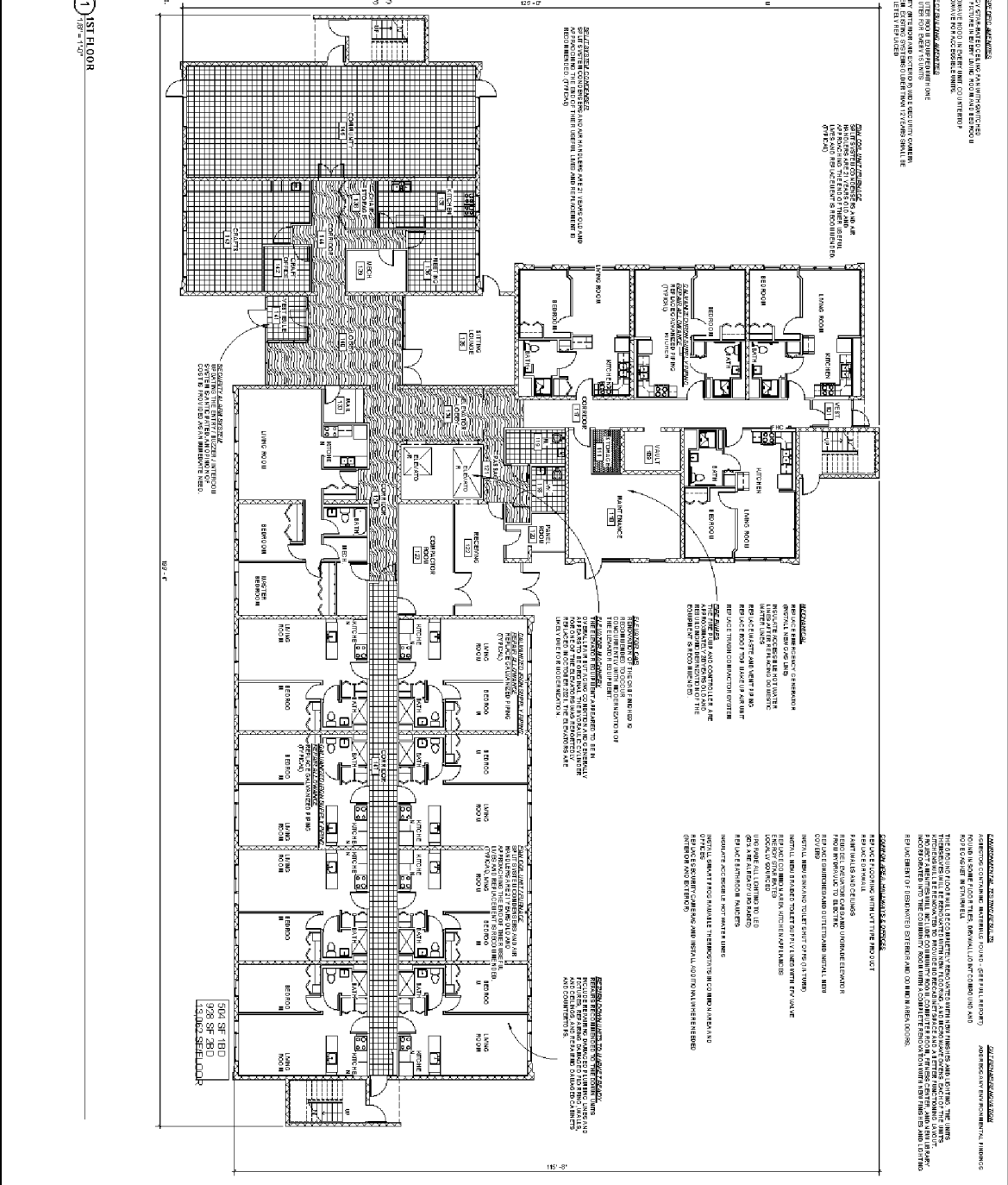
OWNER	PROJECT
CONTRACTOR	NO. OF SHEETS

1919 Architects
 600 North Dear
 Rock, IL 61107
 815.728.4222
 www.1919architects.com



GENERAL NOTES:

1. REFER TO ALL DRAWINGS FOR THE PROJECT.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC, IRC, AND IRCM.
3. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
7. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.
9. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES ON THIS DRAWING.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING FINISHES.
11. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
12. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
13. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.
15. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND NOTES ON THIS DRAWING.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING FINISHES.
17. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
18. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
19. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO CONSTRUCTION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.



1ST FLOOR PLAN AG-T	STEER PLACE APARTMENTS REHAB				1919 Architects 4000 Mosley Drive Rockford, IL 61107 (815) 228-8222 www.1919architects.com	
	DATE: 11-9-2023	REV: 05-19-2011	Author: [Name]	Checker: [Name]		
DESIGNER: [Name]	CONTRACTOR: [Name]	OWNER: [Name]	ARCHITECT: [Name]	BOILING CO.		

GENERAL NOTES:
 1. REFER TO ALL NOTES ON ALL SHEETS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

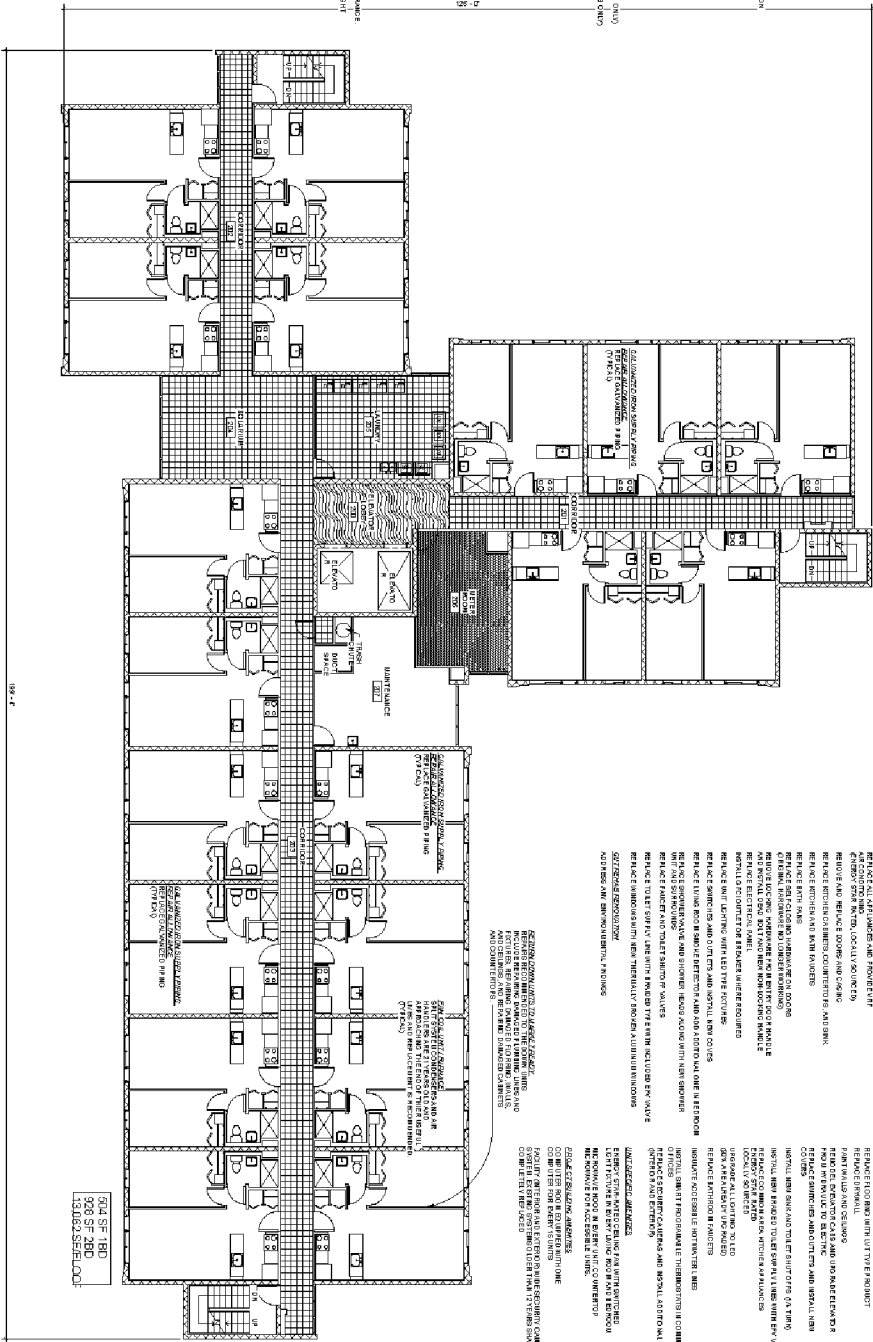
GENERAL NOTES:
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 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

1 2ND FLOOR
 118'-11" 194'-4"



GENERAL NOTES:
 1. REFER TO ALL NOTES ON ALL SHEETS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
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 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

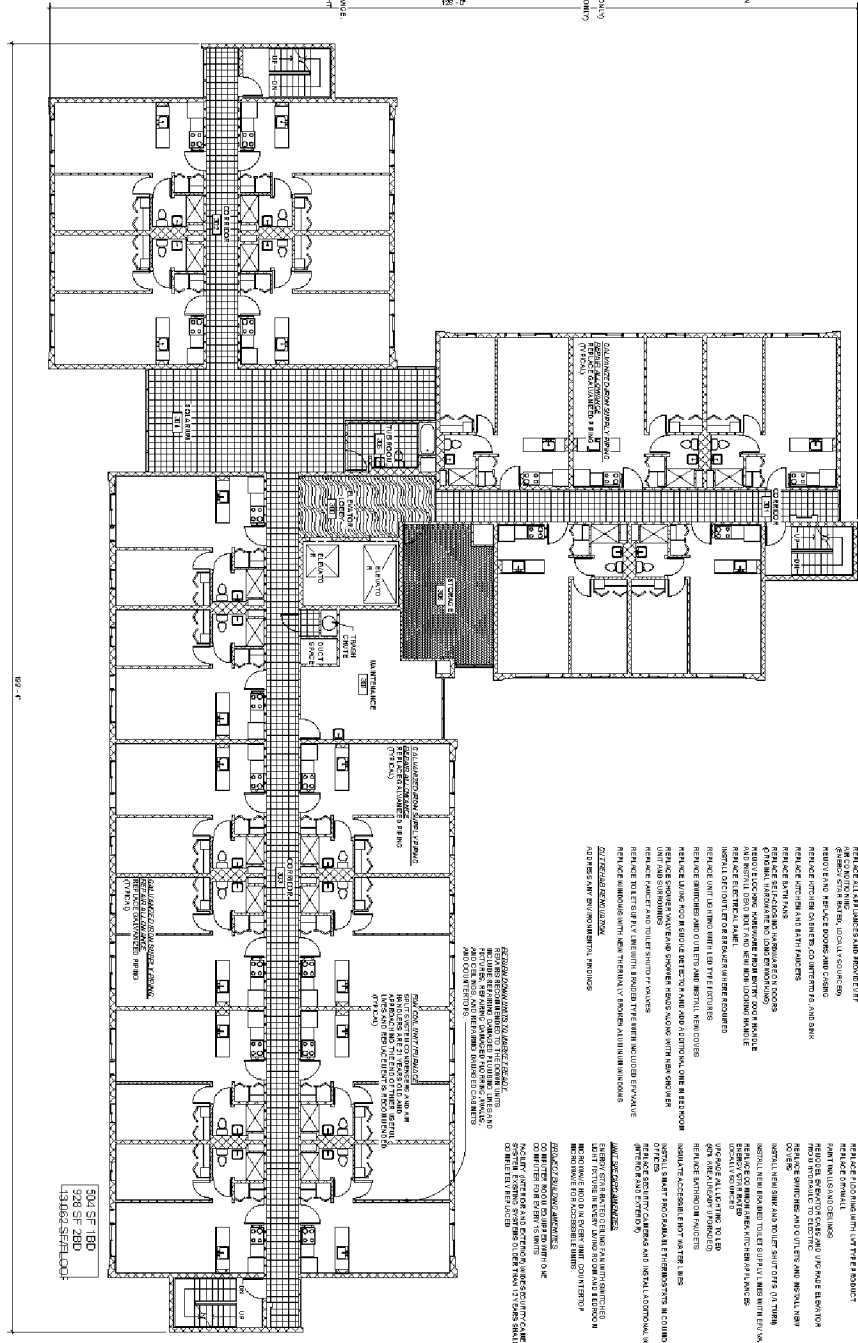
GENERAL NOTES:
 1. REFER TO ALL NOTES ON ALL SHEETS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.

504 SF - 180
 908 SF - 280
 1240 SF - 360

2ND FLOOR PLAN SHEET NO. AS-LU	STEER PLACE APARTMENTS REHAB				1919 Architects 4000 Mosley Drive Rockford, IL 61107 (815) 228-8232 www.1919architects.com	
	11-9255 05-19-2011	Author 11-9255	App'd 05-19-2011	Checked 11-9255		

- GENERAL ACCESSIBILITY:**
 - ALL NEW AND EXISTING ENTRANCES SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING ELEVATORS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING STAIRWAYS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING CORRIDORS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING ROOMS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING RESTROOMS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING OFFICES SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING STORAGE AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING LOBBY AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING COMMON AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING SERVICE AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING MEETING AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING CONFERENCE AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING BREAK ROOMS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING STORAGE AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING LOBBY AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING COMMON AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING SERVICE AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING MEETING AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING CONFERENCE AREAS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.
 - ALL NEW AND EXISTING BREAK ROOMS SHALL BE ACCESSIBLE TO ALL PHYSICALLY HANDICAPPED PERSONS.

1 3RD FLOOR
1/8" = 1'-0"



<p>3RD FLOOR PLAN Sheet No.: AG-V</p>	<p>STEER PLACE APARTMENTS REHAB</p> <p>11-9255 Rev. 05-19-2011 Author: [Blank] Appr: [Blank] Checker: [Blank]</p>	<p>1919 Architects 4000 Mosley Drive Rockford, IL 61107 (815) 228-5222 www.1919architects.com</p>	<p>1919 ARCHITECTS</p>
<p>OWNER: [Blank] ARCHITECT: [Blank]</p>		<p>CONTRACTOR: [Blank] BOILING CO.</p>	

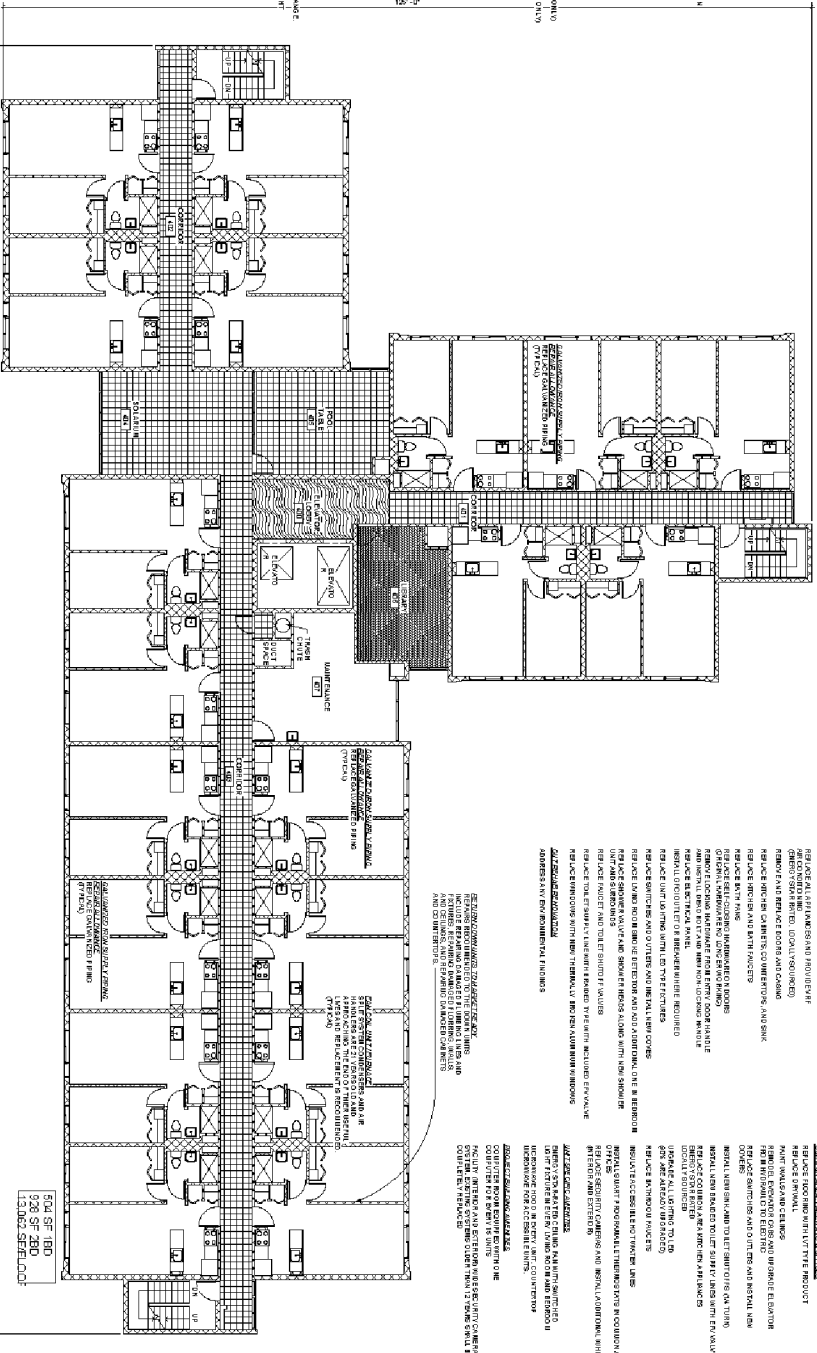
GENERAL NOTES:
 1. REFER TO ALL NOTES ON DRAWINGS AND SPECIFICATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 3. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

GENERAL NOTES:
 1. REFER TO ALL NOTES ON DRAWINGS AND SPECIFICATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
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 3. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

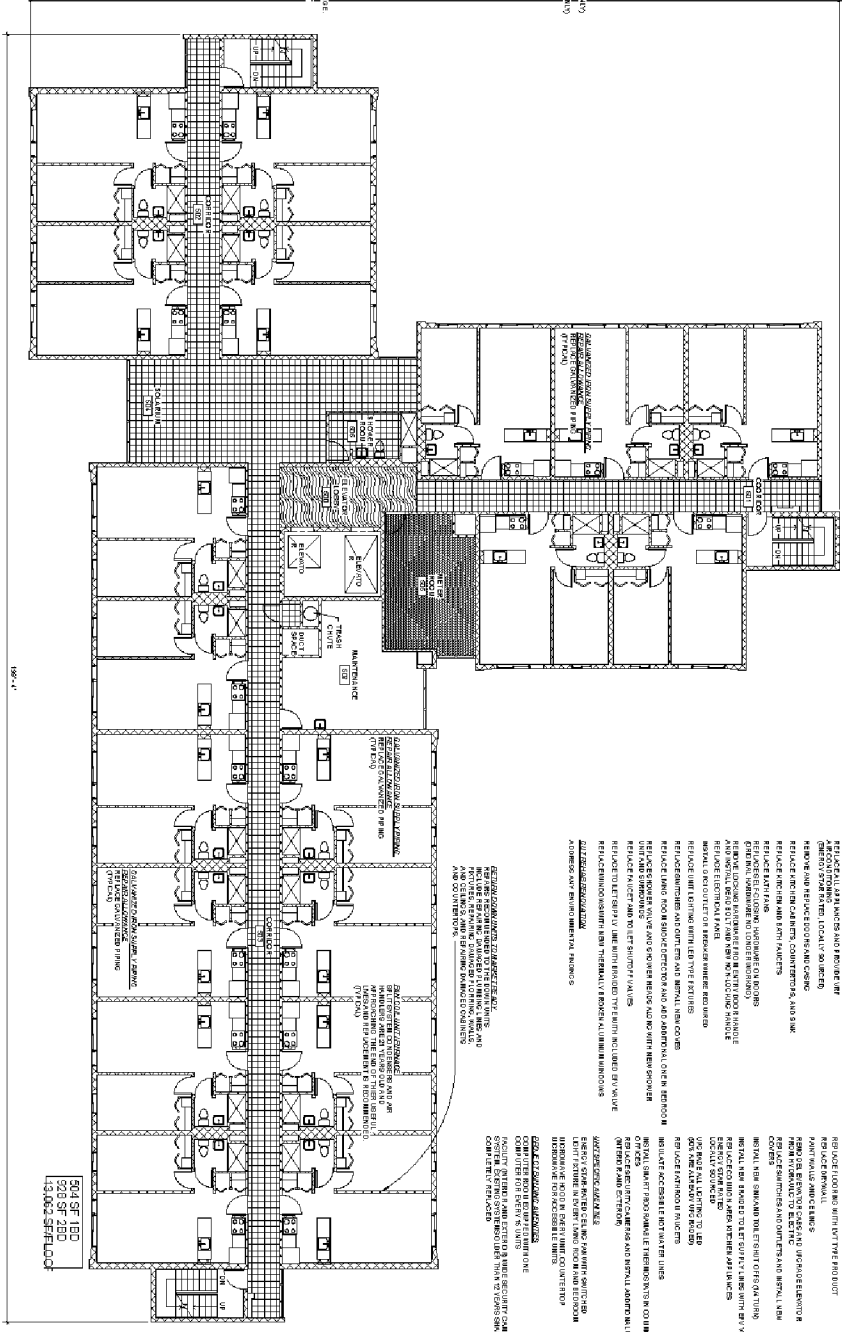


4TH FLOOR PLAN
 1/8" = 1'-0"

4TH FLOOR PLAN		STEER PLACE APARTMENTS REHAB		OWNER ARCHITECT		1919 Architects 4000 Mosley Drive Rockford, IL 61107 (815) 228-2322		
Sheet No. AS-W	11-9255	05-19-2011	Author	App'd	Checker	CONTRACTOR	NO HOING CO.	

GENERAL NOTES:
 1. REFER TO ALL DRAWINGS FOR MATERIALS, FINISHES, SCHEDULES, AND ACCESSORIES TO BE INSTALLED.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE IBC AND ALL APPLICABLE CODES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTION.
 4. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.
 6. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURE AND UTILITIES.
 8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULES.
 9. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.
 10. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURE AND UTILITIES.
 12. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND SCHEDULES.
 13. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING UTILITIES AND SERVICES AT ALL TIMES.
 14. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING STRUCTURE AND UTILITIES.

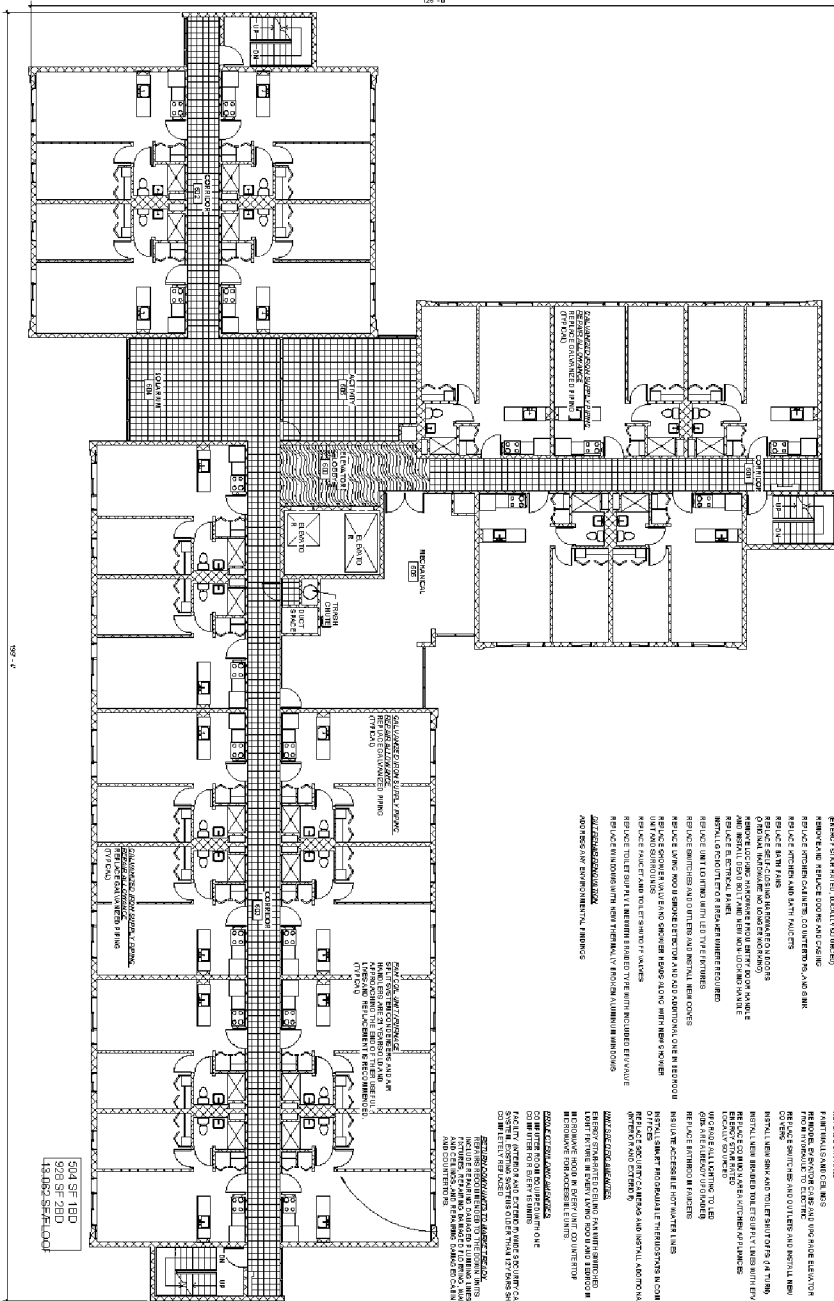
1 5TH FLOOR



501 SF 100
 500 SF 200
 13,000 SF FLOOR

5TH FLOOR PLAN SHEET NO. AG-X	STEER PLACE APARTMENTS REHAB			OWNER: [Redacted] ARCHITECT: [Redacted]	1919 Architects 4000 Mosley Drive Rockford, IL 61107 (815) 228-6222 www.1919architects.com	
	REVISIONS TABLE	11-9255 05-19-2011	Author: [Redacted] App'd: [Redacted] Checker: [Redacted]	CONTRACTOR: [Redacted] SOILING CO.		

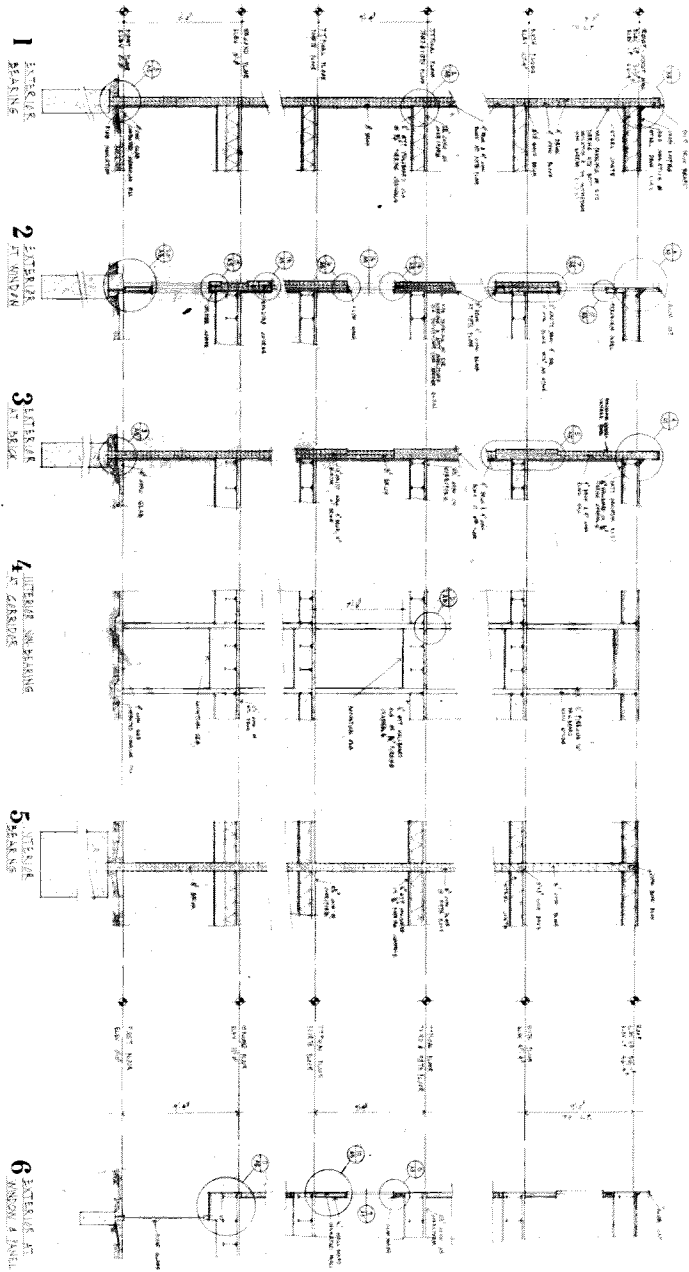
1 6TH FLOOR



- GENERAL NOTES:**
 - 1. REFER TO ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND ORDINANCES.
 - 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE BOOKS (IRC).
 - 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL AND ELECTRICAL CODES (IMC) AND THE INTERNATIONAL ELECTRICAL CODE (IEC).
 - 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL PLUMBING AND MECHANICAL CODES (IPMC) AND THE INTERNATIONAL PLUMBING AND MECHANICAL CODES (IPC).
 - 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODES (IFSC) AND THE INTERNATIONAL FIRE AND SAFETY CODES (IFC).
 - 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY EFFICIENCY CODES (IEEC) AND THE INTERNATIONAL ENERGY EFFICIENCY CODES (IEC).
 - 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SUSTAINABLE DESIGN AND CONSTRUCTION PRACTICES (ISDC) AND THE INTERNATIONAL SUSTAINABLE DESIGN AND CONSTRUCTION PRACTICES (ISDC).
 - 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY STANDARDS (IAS) AND THE INTERNATIONAL ACCESSIBILITY STANDARDS (IAS).
 - 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SAFETY STANDARDS (ISS) AND THE INTERNATIONAL SAFETY STANDARDS (ISS).
 - 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL QUALITY STANDARDS (IQS) AND THE INTERNATIONAL QUALITY STANDARDS (IQS).
- GENERAL NOTES:**
 - 1. REFER TO ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND ORDINANCES.
 - 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE BOOKS (IRC).
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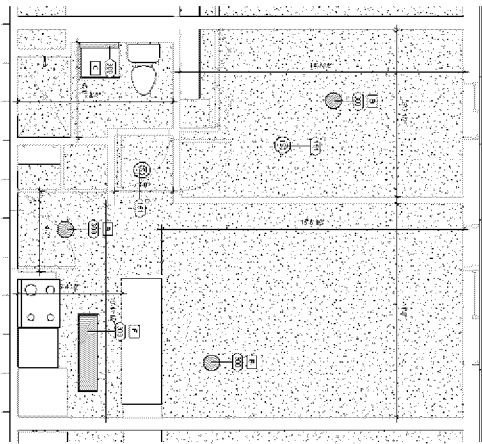
6TH FLOOR PLAN		STEER PLACE APARTMENTS REHAB		1919 Architects 4000 Mosley Drive Rockford, IL 61107 (815) 228-8222 www.1919architects.com		
OWNER	ARCHITECT	DATE	PROJECT NO.	SCALE	REVISIONS	
11-9255	05-19-2011	Author	App'd	Checker	CONTRACTOR	NO. HOLDING CO.
SHEET NO. AG-Y		PROJECT NO. 11-9255		DATE 05-19-2011		

TYPICAL WALL SECTIONS

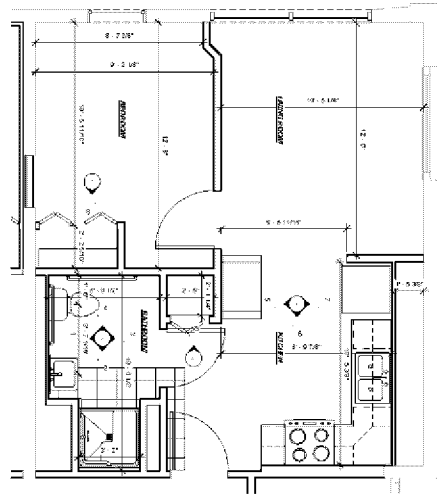


WALL SECTION A310	STEER PLACE APARTMENTS REHAB				OWNER ARCHITECT	1919 Architects 4000 Morley Drive Roxford, IL 61107 (815) 228-0222 www.1919architects.com	1919 ARCHITECTS
	PROJECT NO.	DATE	BY	CHECKED			

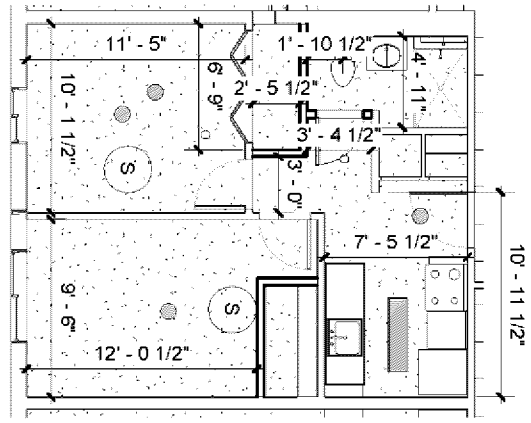
1 ONE BEDROOM FLOOR PLAN
Scale: 1/8" = 1'-0"



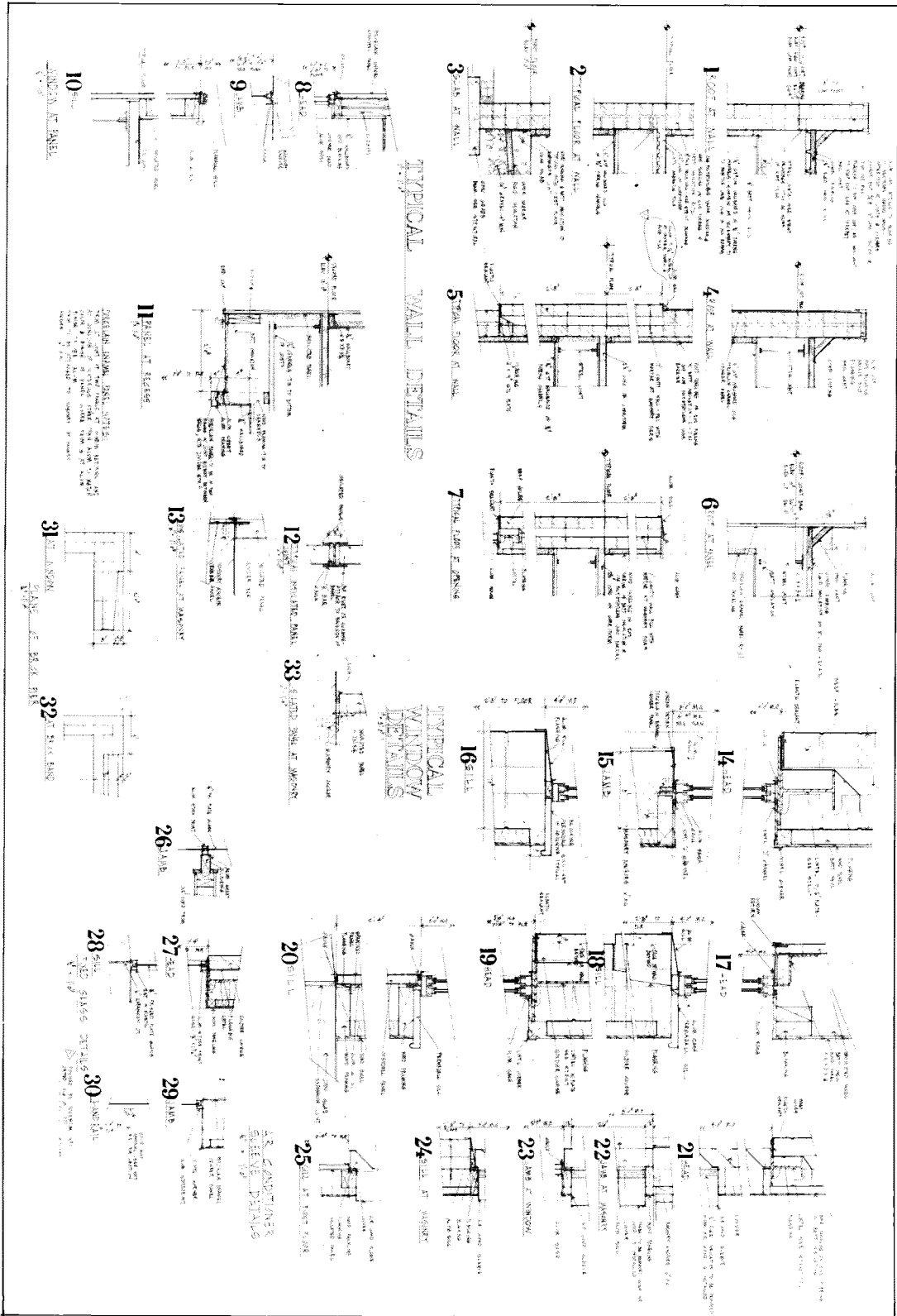
1 ADA UNIT FLOOR PLAN
Scale: 1/8" = 1'-0"



1 TWO BEDROOM FLOOR PLAN
Scale: 1/8" = 1'-0"

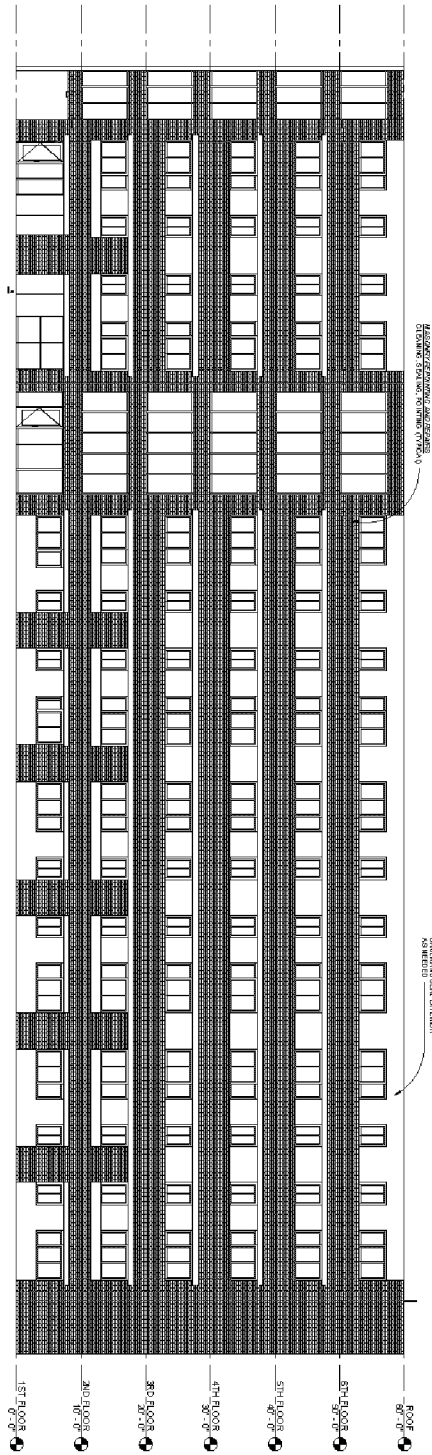


ENLARGED UNIT PLANS A300	STEER PLACE APARTMENTS REHAB				1919 Architects 4900 Mayday Drive Pacifica, CA 94027 (415) 278-0202 www.1919architects.com	1919 Architects
	PROJECT NO. 19-11990	DATE 09/20/2017	DESIGNER Almer	CHECKER [Blank]		

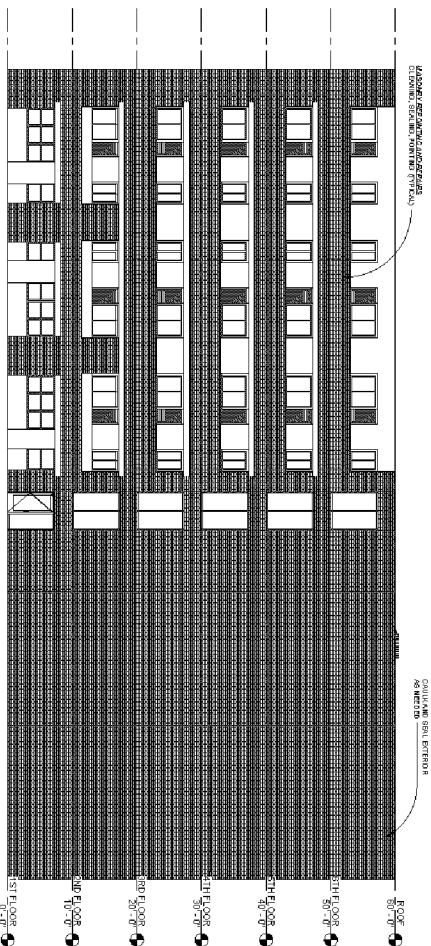


WALL SECTION A311	STEER PLACE APARTMENTS REHAB				OWNER ARCHITECT	1919 Architects 4000 Morley Drive Riverside, IL 61077 (815) 228-0222 www.1919architects.com	
	15-1100A	09/20/2013	ALP	Check			

1 NORTH
SCALE: 1/8" = 1'-0"



2 WEST
SCALE: 1/8" = 1'-0"



NORTH & WEST ELEVATIONS

STEER PLACE APARTMENTS REHAB

Sheet No. **A312**

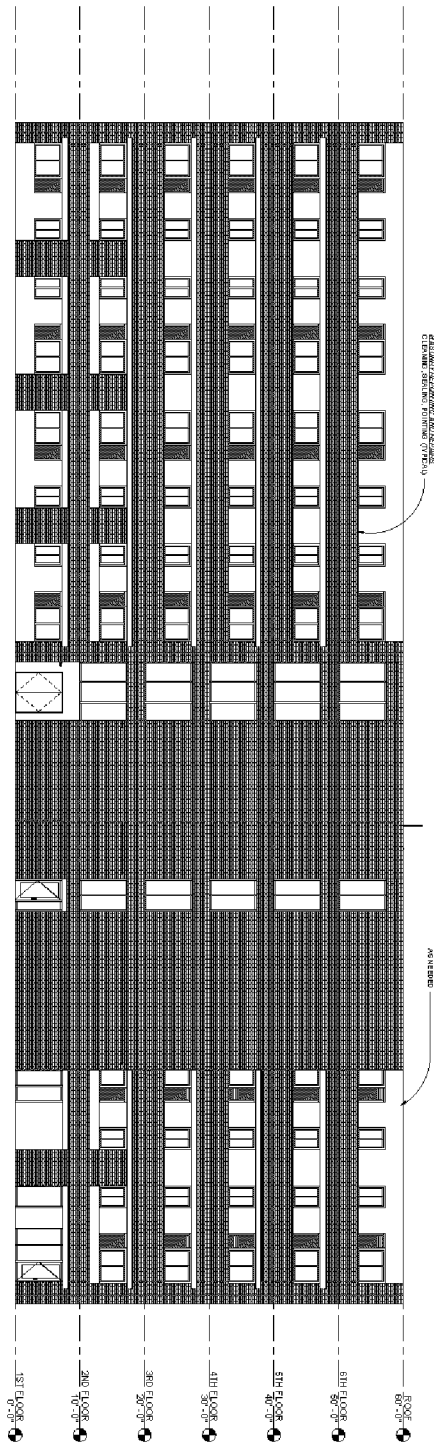
18-11090 Rev. 03/20/2017 Author Jgd. Checker

OWNER ARCHITECT
CONTRACTOR BOHANNON CO.

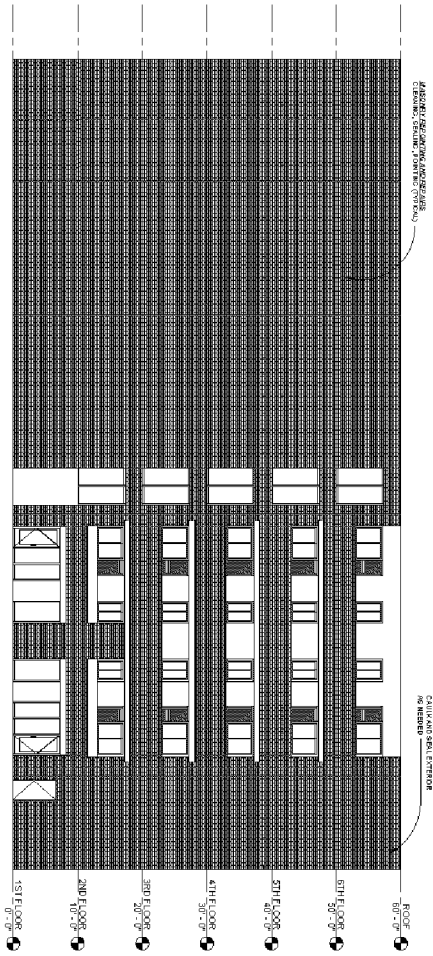
1919 Architects
400 Mosley Drive
Rockford, IL 61107
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www.1919architects.com



1 SOUTH
Scale: 1/8" = 1'-0"



2 EAST
Scale: 1/8" = 1'-0"



EAST AND SOUTH ELEVATIONS

STEER PLACE APARTMENTS REHAB

Sheet No.
A313

18-11090	Rev	03/20/2017	DA	Author	jept	Checker
PERCEN/DAVE						

OWNER	ARCHITECT
CONTRACTOR	ENGINEER

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FINISH SCHEDULE

FINISH SCHEDULE NUMBER	FINISH SCHEDULE DESCRIPTION	ISSUE DATE	FINISH DATE	FINISH SCHEDULE NUMBER	FINISH SCHEDULE DESCRIPTION	ISSUE DATE	FINISH DATE
001	CONCRETE	05/15/2022	05/15/2022	001	CONCRETE	05/15/2022	05/15/2022
002	MECHANICAL	05/15/2022	05/15/2022	002	MECHANICAL	05/15/2022	05/15/2022
003	ELECTRICAL	05/15/2022	05/15/2022	003	ELECTRICAL	05/15/2022	05/15/2022
004	PLUMBING	05/15/2022	05/15/2022	004	PLUMBING	05/15/2022	05/15/2022
005	PAINTING	05/15/2022	05/15/2022	005	PAINTING	05/15/2022	05/15/2022
006	FINISH FLOORING	05/15/2022	05/15/2022	006	FINISH FLOORING	05/15/2022	05/15/2022
007	FINISH WALLS	05/15/2022	05/15/2022	007	FINISH WALLS	05/15/2022	05/15/2022
008	FINISH CEILING	05/15/2022	05/15/2022	008	FINISH CEILING	05/15/2022	05/15/2022
009	FINISH DOORS	05/15/2022	05/15/2022	009	FINISH DOORS	05/15/2022	05/15/2022
010	FINISH WINDOWS	05/15/2022	05/15/2022	010	FINISH WINDOWS	05/15/2022	05/15/2022
011	FINISH STAIRS	05/15/2022	05/15/2022	011	FINISH STAIRS	05/15/2022	05/15/2022
012	FINISH ELEVATORS	05/15/2022	05/15/2022	012	FINISH ELEVATORS	05/15/2022	05/15/2022
013	FINISH EXTERIOR	05/15/2022	05/15/2022	013	FINISH EXTERIOR	05/15/2022	05/15/2022
014	FINISH INTERIOR	05/15/2022	05/15/2022	014	FINISH INTERIOR	05/15/2022	05/15/2022
015	FINISH MECHANICAL	05/15/2022	05/15/2022	015	FINISH MECHANICAL	05/15/2022	05/15/2022
016	FINISH ELECTRICAL	05/15/2022	05/15/2022	016	FINISH ELECTRICAL	05/15/2022	05/15/2022
017	FINISH PLUMBING	05/15/2022	05/15/2022	017	FINISH PLUMBING	05/15/2022	05/15/2022
018	FINISH PAINTING	05/15/2022	05/15/2022	018	FINISH PAINTING	05/15/2022	05/15/2022
019	FINISH FLOORING	05/15/2022	05/15/2022	019	FINISH FLOORING	05/15/2022	05/15/2022
020	FINISH WALLS	05/15/2022	05/15/2022	020	FINISH WALLS	05/15/2022	05/15/2022
021	FINISH CEILING	05/15/2022	05/15/2022	021	FINISH CEILING	05/15/2022	05/15/2022
022	FINISH DOORS	05/15/2022	05/15/2022	022	FINISH DOORS	05/15/2022	05/15/2022
023	FINISH WINDOWS	05/15/2022	05/15/2022	023	FINISH WINDOWS	05/15/2022	05/15/2022
024	FINISH STAIRS	05/15/2022	05/15/2022	024	FINISH STAIRS	05/15/2022	05/15/2022
025	FINISH ELEVATORS	05/15/2022	05/15/2022	025	FINISH ELEVATORS	05/15/2022	05/15/2022
026	FINISH EXTERIOR	05/15/2022	05/15/2022	026	FINISH EXTERIOR	05/15/2022	05/15/2022
027	FINISH INTERIOR	05/15/2022	05/15/2022	027	FINISH INTERIOR	05/15/2022	05/15/2022
028	FINISH MECHANICAL	05/15/2022	05/15/2022	028	FINISH MECHANICAL	05/15/2022	05/15/2022
029	FINISH ELECTRICAL	05/15/2022	05/15/2022	029	FINISH ELECTRICAL	05/15/2022	05/15/2022
030	FINISH PLUMBING	05/15/2022	05/15/2022	030	FINISH PLUMBING	05/15/2022	05/15/2022
031	FINISH PAINTING	05/15/2022	05/15/2022	031	FINISH PAINTING	05/15/2022	05/15/2022
032	FINISH FLOORING	05/15/2022	05/15/2022	032	FINISH FLOORING	05/15/2022	05/15/2022
033	FINISH WALLS	05/15/2022	05/15/2022	033	FINISH WALLS	05/15/2022	05/15/2022
034	FINISH CEILING	05/15/2022	05/15/2022	034	FINISH CEILING	05/15/2022	05/15/2022
035	FINISH DOORS	05/15/2022	05/15/2022	035	FINISH DOORS	05/15/2022	05/15/2022
036	FINISH WINDOWS	05/15/2022	05/15/2022	036	FINISH WINDOWS	05/15/2022	05/15/2022
037	FINISH STAIRS	05/15/2022	05/15/2022	037	FINISH STAIRS	05/15/2022	05/15/2022
038	FINISH ELEVATORS	05/15/2022	05/15/2022	038	FINISH ELEVATORS	05/15/2022	05/15/2022
039	FINISH EXTERIOR	05/15/2022	05/15/2022	039	FINISH EXTERIOR	05/15/2022	05/15/2022
040	FINISH INTERIOR	05/15/2022	05/15/2022	040	FINISH INTERIOR	05/15/2022	05/15/2022

ROOF PLAN	STEER PLACE APARTMENTS REHAB			1919 Architects 4000 Morisy Drive Rockford, IL 61107 (815) 228-8222 www.1919architects.com	
AS08	Project Number	Date	Author	Checker	1919 ARCHITECTS
	15-09-2021				
	CONTRACTOR	BO MIND CO.	ARCHITECT		