



DEPARTMENT OF COMMUNITY DEVELOPMENT SERVICES

Planning Division

m e m o r a n d u m

TO: The Urbana Zoning Board of Appeals

FROM: Kevin Garcia, AICP, Planner II

DATE: March 11, 2016

SUBJECT: ZBA-2016-MAJ-01: A request by Geoffrey Merritt for a Major Variance to install a front canopy that will encroach seven feet into the required front yard at 303 W. Griggs Street in the B-1, Neighborhood Business District.

Introduction & Background

The petitioner, Geoff Merritt, has submitted a request to install a front canopy that will encroach seven feet into the required front yard at 303 W. Griggs Street in the B-1, Neighborhood Business District. The existing building at 303 W. Griggs Street encroaches four feet into the required 15-foot front setback. The addition of a proposed three-foot canopy would create a total encroachment of seven feet, or 47 percent, into the required yard. According to Section XI-3.C of the Urbana Zoning Ordinance, reducing a required yard by more than 25 percent requires a Major Variance.

In 2001, the applicant obtained a Conditional Use Permit to operate a mail order record store at 303 W. Griggs Street. The building is still used for that purpose, and in addition contains a small space for bicycle-related retail. In 2015, a Major Variance (see ZBA-2015-MAJ-07) was approved to reduce the number of required parking spaces at the property from seven to three, to be provided off-site. The variance was sought so the applicant could proceed with plans to renovate the building, including removing the existing garage and replacing the front façade. The original variance application did not include a request to allow a canopy to encroach into the required front yard, and the applicant therefore requests a variance to allow the canopy to be built. The canopy is intended to make the building more attractive and will offer some protection from the elements for the building's main entrance.

According to Section XI-3.C.2(d)(1) of the Urbana Zoning Ordinance, in order to approve the Major Variance request, the Zoning Board of Appeals requires a two-thirds favorable vote to recommend approval and forward the case to the Urbana City Council for final review and approval.

Existing Land Uses

The property is located on W. Griggs Street near Downtown Urbana, one block west of the new park at the Boneyard Creek. It is surrounded by residential uses of varying densities, as well as a small pottery

business immediately to the west. The following chart, along with the attached exhibits, offers a more detailed summary of the surrounding zoning and land uses.

Direction	Zoning	Existing Land Use	Future Land Use
Site	B-1, Neighborhood Business	Mail Order Business, Bike-Related Retail	Residential (Urban Pattern)
North	B-3, General Business	Apartments	Central Business
East	R-5, Medium High Density Multi-Family Residential	Single-Family Home	Residential
South	R-5, Medium High Density Multi-Family Residential	Apartments	Residential
West	B-1, Neighborhood Business	Pottery Business	Residential

Comprehensive Plan

In Urbana’s 2005 Comprehensive Plan, Future Land Use Map #8 identifies the southern portion of the 300 block of W. Griggs Street as an area appropriate for an urban pattern of residential use. The northern portion (across the street from 303 W. Griggs Street) is identified as “Central Business.” The Plan defines “Residential (Urban Pattern),” as areas containing

...primarily single-family residential housing but may also include a variety of compatible land uses such as duplexes, town homes, civic uses, institutional uses, and parks where zoning is appropriate. Residential areas can have different physical patterns of development.

The Plan defines “Central Business” in part as

Contain[ing] a dense, highly intensive land use pattern focusing on an urban style of development and architecture. Pedestrian, bicycle, and transit access are emphasized to ensure areas are walkable. Contain[ing] a mix of land uses ranging from commercial, high-density residential, office, and institutional.

The existing building was constructed as a commercial building and has been consistently used for commercial purposes. The current commercial uses of the building are compatible with the definition of Residential (Urban Pattern). The property is zoned B-1, Neighborhood Business, and is a low-intensity use, with many customers arriving by foot or by bike, which is compatible with the adjacent “Central Business” designation identified in the Comprehensive Plan.

Discussion

The building at 303 W. Griggs Street has been used for neighborhood businesses for decades. It is currently used as a mail order record store, with a small area used for bicycle-related retail. Like many older properties, it was developed long before current zoning standards were in place. In this case, the applicant would like to make changes to the building to make it more structurally sound, economically viable, and aesthetically pleasing. The first step in the process for the applicant was to apply for a

variance to reduce the parking requirements. The applicant was granted such a variance in case ZBA-2015-MAJ-07. The next step in the process was to finalize plans for the renovations. The new plans include a three-foot canopy on the front of the building, which requires a major variance. The proposed canopy, which can be seen in the plans, elevations, and detail in Exhibit D, will enhance the appearance of the building and should not cause any negative effects in the neighborhood.

Variance Criteria

Section XI-3 of the Urbana Zoning Ordinance requires the Zoning Board of Appeals to make findings based on variance criteria. The Zoning Board of Appeals must first determine, based on the evidence presented, whether there are special circumstances or special practical difficulties with reference to the parcel concerned, in carrying out the strict application of the ordinance. This criterion is intended to serve as a minimum threshold that must be met before a variance request may be evaluated.

The following is a review of the criteria outlined in the ordinance, followed by staff analysis for this case:

1. *The proposed variance will not serve as a special privilege because the variance requested is necessary due to special circumstances relating to the land or structure involved or to be used for occupancy thereof which is not generally applicable to other lands or structures in the same district.*

The property was developed and the building was constructed long before current zoning regulations were put into place. The building already encroaches more than 25 percent into the required front yard, so any further protrusion would require a Major Variance. Aside from the adjacent property to the west, all of the other commercial buildings in the area are zoned B-4, which has no setback requirements. This property is unique in that it is zoned B-1 but shares many characteristics with buildings in B-4 zones. These are special circumstances of this particular site which make this variance necessary.

2. *The variance requested was not the result of a situation or condition having been knowingly or deliberately created by the Petitioner.*

The variance requested was not the result of a situation created by the petitioner as the site was developed many decades prior to the petitioner purchasing the property. The petitioner is trying to rehabilitate the existing building to make it more attractive and viable as a neighborhood business.

3. *The variance will not alter the essential character of the neighborhood.*

The building will be renovated and the façade improved, a canopy will be installed, and the existing curb cut will be removed, all of which will help to preserve and enhance the character of the neighborhood.

4. *The variance will not cause a nuisance to the adjacent property.*

The installation of a canopy will have no effect on adjacent properties and will cause no nuisance.

5. *The variance represents generally the minimum deviation from requirements of the Zoning Ordinance necessary to accommodate the request.*

The proposed canopy is modest in scale, at three feet. Any canopy would require a Major Variance, and a smaller canopy would not offer the benefit of protection from the weather. The variance therefore represents the minimum deviation necessary.

Summary of Findings

1. 303 W. Griggs Street is zoned B-1, Neighborhood Business.
2. The property is currently classified as a “Mail Order Business”, a use that was granted via Conditional Use Permit in Case No. ZBA-01-C-01.
3. The property was granted a Major Variance in Case No. ZBA-2015-MAJ-07 to reduce the required parking from up to seven spaces to three spaces.
4. The property is currently used for mail order record and bicycle-related retail.
5. The petitioner plans to renovate the existing building, rebuild the front façade, and install a three-foot canopy.
6. The petitioner has applied for a Major Variance to install a front canopy that will encroach seven feet into the required 15-foot front setback.
7. The variance request will not serve as a special privilege to the property owner.
8. The variance request was not the result of a situation knowingly created by the petitioner.
9. The variance request will not alter the essential character of the neighborhood, and will help to preserve and enhance the neighborhood’s character.
10. The variance request will not cause a nuisance to adjacent property owners.
11. The variance request represents a reasonable deviation from the requirements of the Zoning Ordinance.
12. The proposal is generally consistent with the 2005 Urbana Comprehensive Plan.

Options

The Zoning Board of Appeals has the following options in Case No. ZBA-2016-MAJ-01:

1. Forward the case to City Council with a recommendation to approve the variance as requested based on the findings outlined in this memo; or
2. Forward the case to City Council with a recommendation to approve the variance with certain terms and conditions. If the Urbana Zoning Board of Appeals elects to recommend conditions or recommend approval of the variances on findings other than those articulated herein, they should articulate findings accordingly; or
3. Deny the variance request.

Staff Recommendation

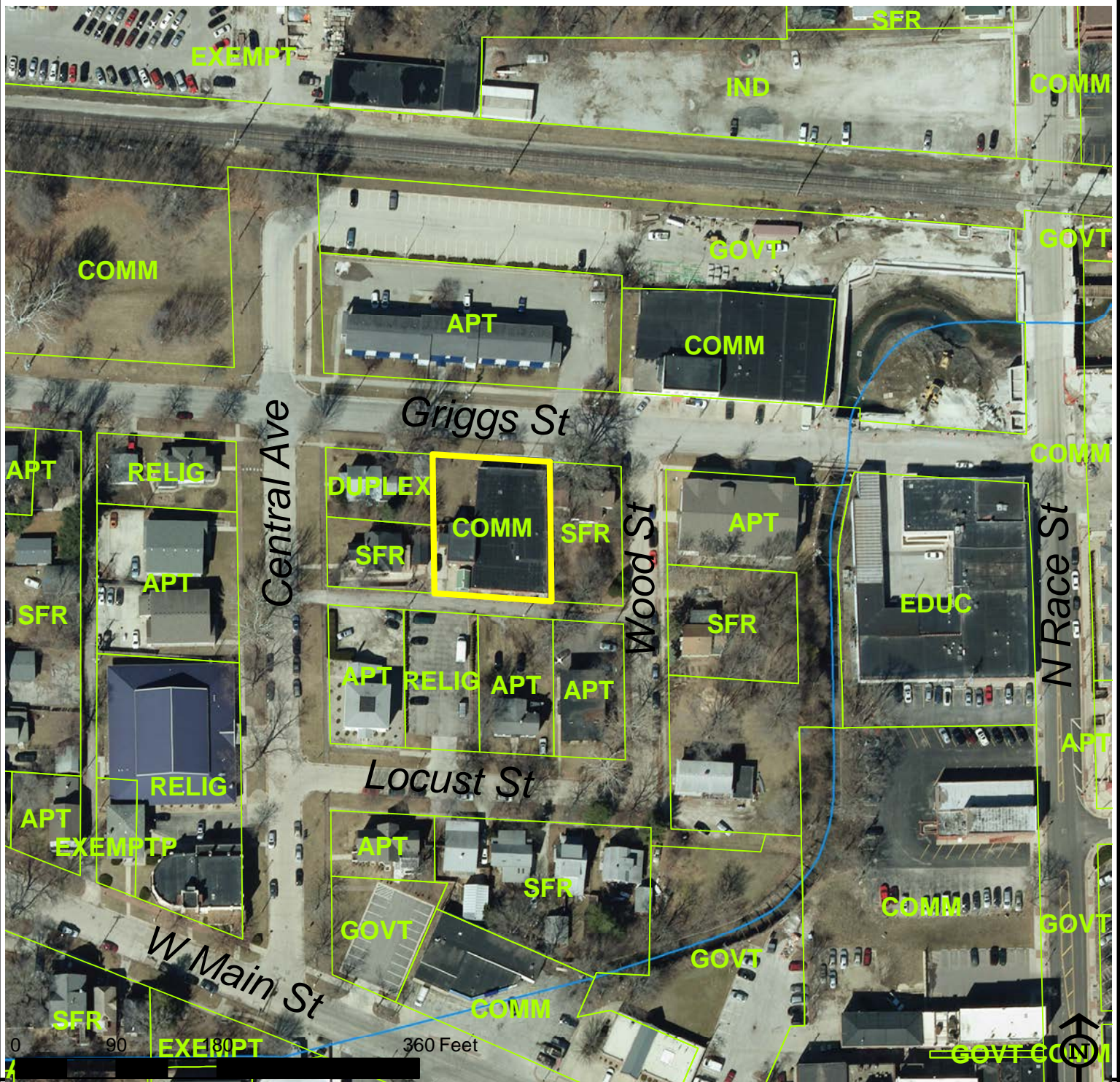
Based on the evidence presented in the discussion above, and without the benefit of considering additional evidence that may be presented at the public hearing, staff recommends that the Zoning Board of Appeals forward the request for a Major Variance in case ZBA-2016-MAJ-01 to the Urbana City Council with a recommendation to **APPROVE** the request with the following condition:

1. The canopy shall be built in conformance with the plans provided by the applicant in Exhibit E.

Attachments: Exhibit A: Location and Existing Land Use Map
Exhibit B: Zoning Map
Exhibit C: Future Land Use Map
Exhibit D: Application
Exhibit E: Site Plans

cc: Geoff Merritt

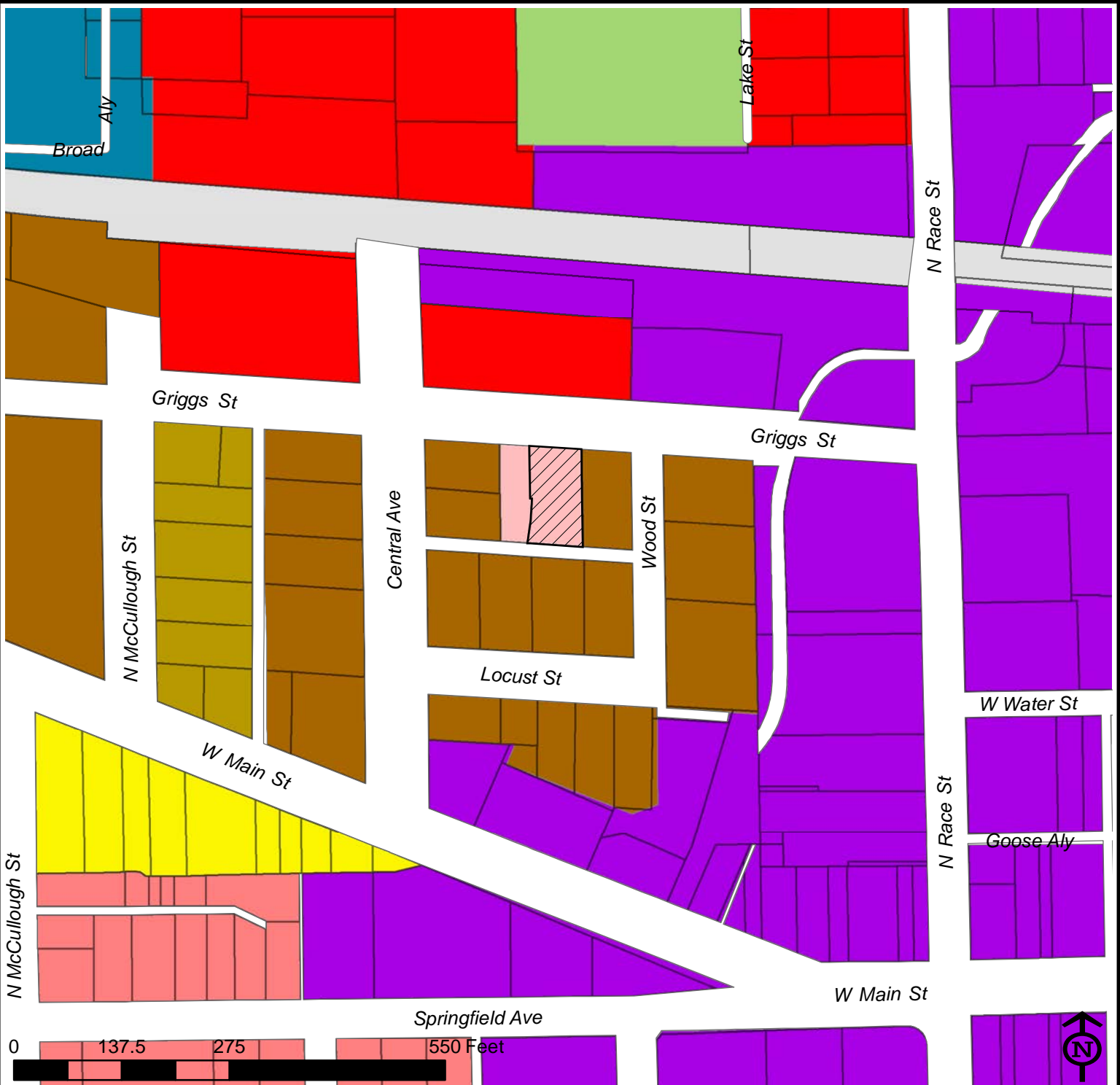
Exhibit A: Location & Existing Land Use Map



Case: ZBA-2016-MAJ-01
 Subject: Parking Variance
 Location: 303 W Griggs St
 Petitioners: Geoff Merritt

Subject Property

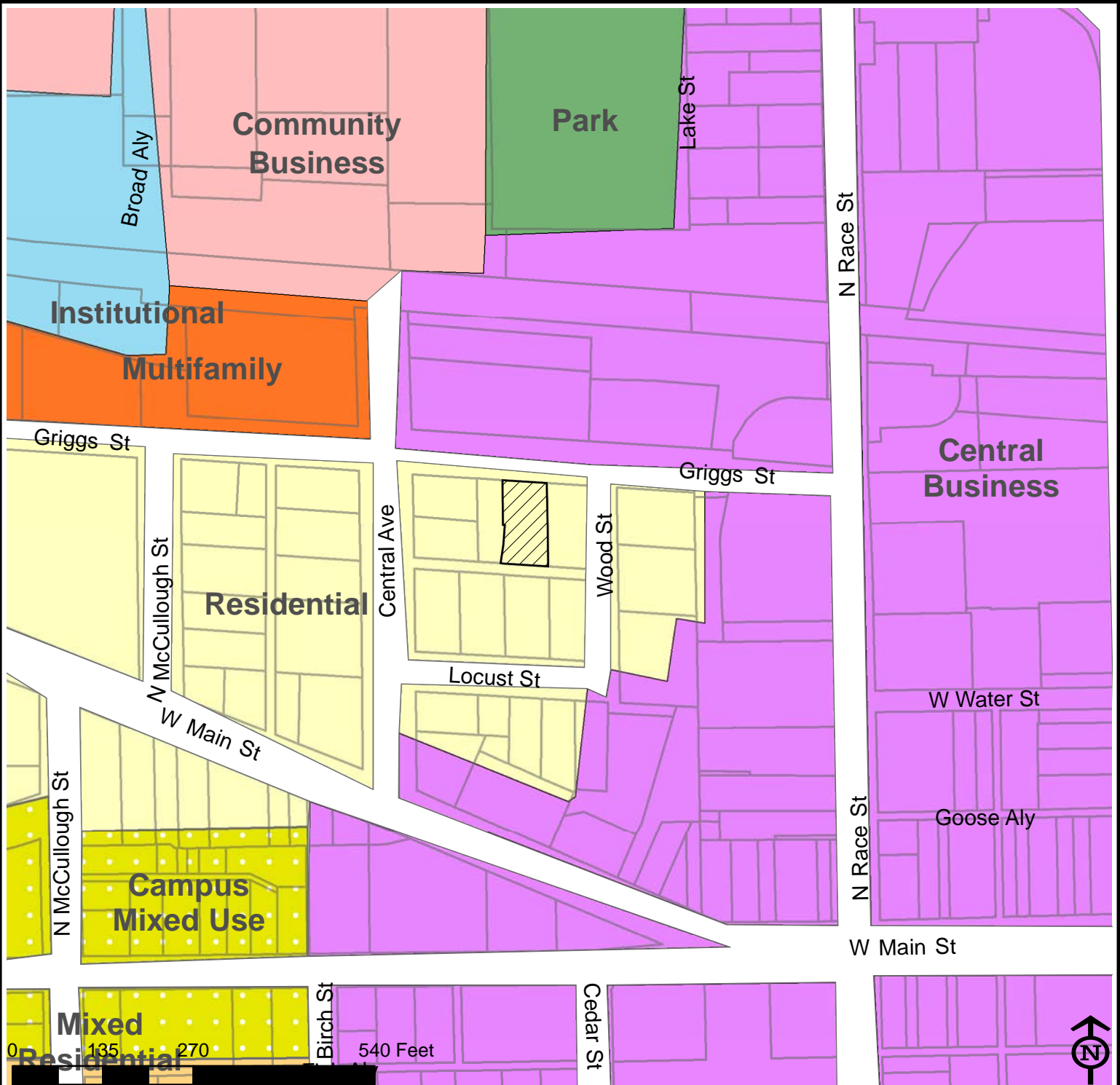
Exhibit B: Zoning Map




Case: ZBA-2016-MAJ-01
 Subject: Parking Variance
 Location: 303 W Griggs St
 Petitioners: Geoff Merritt

- | | | | |
|------------------|------|-----|----|
| B1 | B4 | MIC | R5 |
| B2 | CRE | R2 | |
| B3 | IN-1 | R4 | |
| Subject Property | | | |

Exhibit C: Future Land Use Map



Case: ZBA-2016-MAJ-01
 Subject: Parking Variance
 Location: 303 W Griggs St
 Petitioners: Geoff Merritt

- | | |
|--|--|
|  Residential |  Community Business |
|  Mixed Residential |  Central Business |
|  Multi-Family Residential |  Institutional |
|  Campus Mixed Use |  Park |
|  Subject Property | |



Application for Variance

RECEIVED FEB 04 2016
by JA

APPLICATION FEE – \$175.00 (Major) and \$150.00 (Minor)

The Applicants are responsible for paying the cost of legal publication fees as well. The fees usually run from \$75.00 to \$125.00. The applicant is billed separately by the News-Gazette.

DO NOT WRITE IN THIS SPACE - FOR OFFICE USE ONLY

Date Request Filed 02-04-2016 ZBA Case No. ZBA-2016-MAJ-01
Fee Paid - Check No. _____ Amount _____ Date _____

PLEASE PRINT OR TYPE THE FOLLOWING INFORMATION

A VARIATION is requested in conformity with the powers vested in the Zoning Board of Appeals to permit (*Insert Use/Construction Proposed and the Type and Extent of Variation Requested*) a canopy on the property described below, and in conformity with the plans described on this variance request.

1. APPLICANT CONTACT INFORMATION

Name of Applicant(s): **Geoffrey Merritt** Phone: **217-621-1289**
Address (*street/city/state/zip code*): **303 W Griggs Street, Urbana, IL 61801**
Email Address: **geoff@parasol.com**
Property interest of Applicant(s) (*Owner, Contract Buyer, etc.*): **co-owner**

2. OWNER INFORMATION

Name of Owner(s): **Geoffrey / Christopher Merritt** Phone: **217-621-1289**
Address (*street/city/state/zip code*): **905 S Lynn Street, Urbana, IL 61801**
Email Address: **geoff@parasol.com**

Is this property owned by a Land Trust? Yes No
If yes, please attach a list of all individuals holding an interest in said Trust.

3. PROPERTY INFORMATION

Location of Subject Site: **303 W Griggs Street, Urbana, IL 61801**
PIN # of Location: **91 21 08 383 004**
Lot Size: **21,760 SF**

Current Zoning Designation: **B1**

Current Land Use (*vacant, residence, grocery, factory, etc*): **retail/warehouse**

Proposed Land Use: **retail/warehouse**

Legal Description: Parts of Lots 11 (as Plat Record recorded in Deed Record 19 at Page 285)
and 12 (as Plat Record recorded in Deed Record 19 at Page 285) in S.T. Busey's Addition to
Urbana, in Champaign County, Ill

4. CONSULTANT INFORMATION

Name of Architect(s): Rodney D. Reid AIA Phone: **217-390-7403**

Address (*street/city/state/zip code*): **1904 Byrnebruk Drive, Champaign, Illinois 61822**

Email Address: **rod.reid@comcast.net**

Name of Engineers(s): Phone:

Address (*street/city/state/zip code*):

Email Address:

Name of Surveyor(s): Phone:

Address (*street/city/state/zip code*):

Email Address:

Name of Professional Site Planner(s): Phone:

Address (*street/city/state/zip code*):

Email Address:

Name of Attorney(s): Webber & Thies Phone: **217-367-1126**

Address (*street/city/state/zip code*): **202 Lincoln Square, Urbana, IL 61801**

Email Address:

5. REASONS FOR VARIATION

Identify and explain any special circumstances or practical difficulties in carrying out the strict application of the Zoning Ordinance with respect to the subject parcel.

We intend to renovate and restore the facade of the building in order to preserve it's
character and place in the neighborhood as well as being able to continue and increase it's
use. We hope to put a small canopy over the main front entrance.

Explain how the variance is necessary due to special conditions relating to the land or structure involved which are not generally applicable to other property in the same district.

With the development just east of us (208 W Griggs) and the various projects on Race Street (between University and Water), the nature of the neighborhood (and Griggs Street in particular) is changing considerably – more foot-traffic and businesses. There are no other B1 businesses in this area but the building 100 feet to the North-East (204 E Griggs St) is in the B4 district with more relaxed requirements.

Explain how the variance is not the result of a situation or condition that was knowingly or deliberately created by you (the Petitioner).

The building has had its current footprint for considerably longer than we've owned it but it had never been used for retail until recently – which we got a special variance for. With the current remodeling plans we are hoping for another variance.

Explain why the variance will not alter the essential character of the neighborhood.

The apartments and the new African specialty grocery store across the street have canopys – each of which makes their respective buildings more attractive in the neighborhood. Overall, the neighborhood will look considerably better once the restoration of our building is done – and the canopy is an integral part of that.

Explain why the variance will not cause a nuisance to adjacent property.

The nature of our business will not change very much – we will continue being a neighborhood business with primarily foot and bike traffic. The addition of a canopy will not change the neighborhood at all.

Does the variance represent the minimum deviation necessary from the requirements of the Zoning Ordinance? Explain.

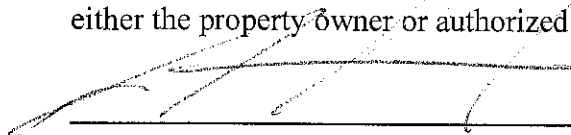
This request represents the minimum deviation for the requirements of the zoning ordinance.

NOTE: *If additional space is needed to accurately answer any question, please attach extra pages to the application.*

By submitting this application, you are granting permission for City staff to post on the property a temporary yard sign announcing the public hearing to be held for your request.

CERTIFICATION BY THE APPLICANT

I certify all the information contained in this application form or any attachment(s), document(s) or plan(s) submitted herewith are true to the best of my knowledge and belief, and that I am either the property owner or authorized to make this application on the owner's behalf.

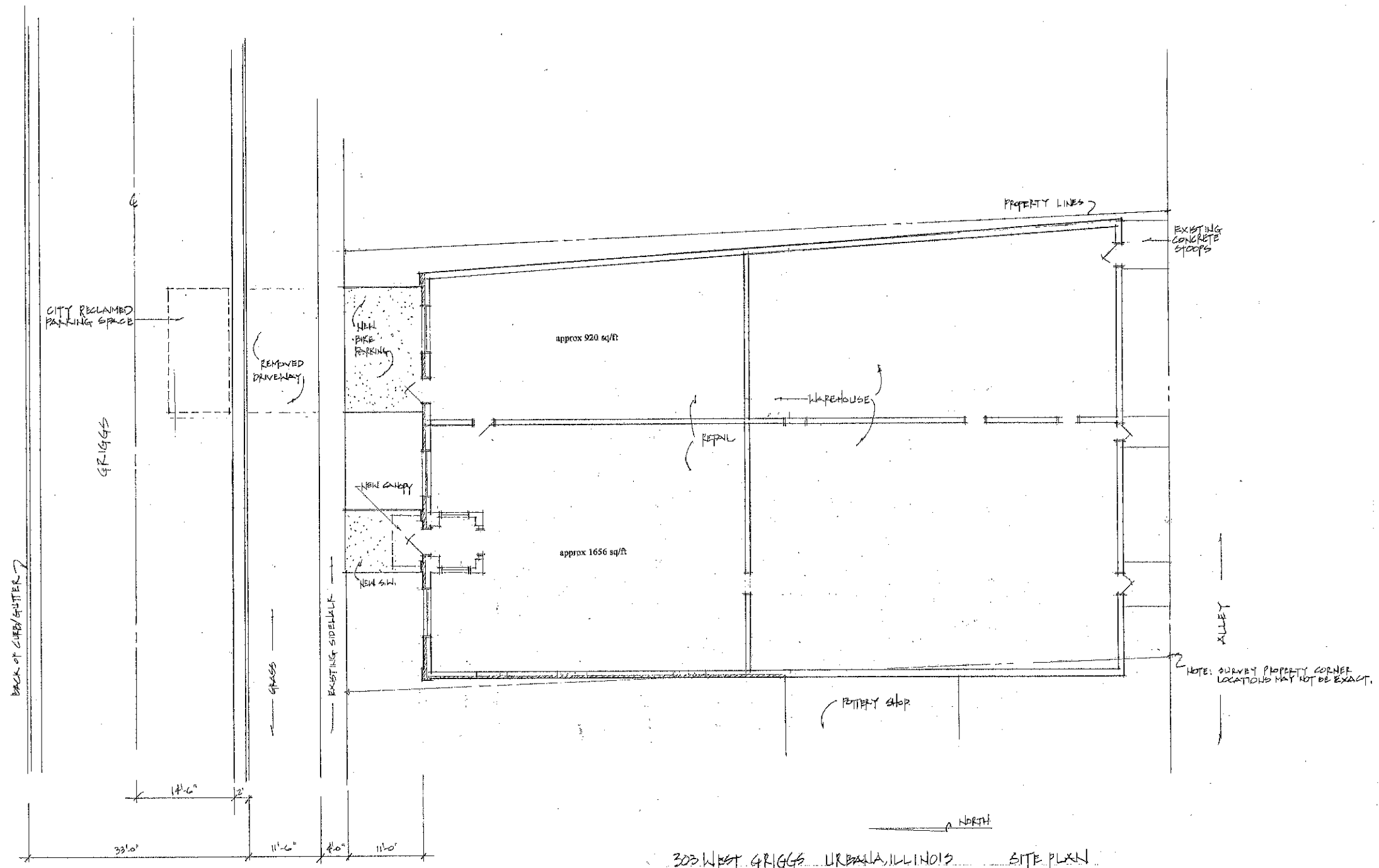


Applicant's Signature

2-3-16
Date

PLEASE RETURN THIS FORM ONCE COMPLETED TO:

City of Urbana
Community Development Department Services
Planning Division
400 South Vine Street, Urbana, IL 61801
Phone: (217) 384-2440
Fax: (217) 384-2367



303 WEST GRIGGS URBANA, ILLINOIS SITE PLAN
1/8"=1'-0"

REVISIONS	BY

Merritt Building Masonry Restoration

Renovation
303 West Griggs
Urbana, Illinois 62501

RSA Field, South, Architecture, LLC
1804 Industrial Drive, Chicago, Illinois 60622
PH: 773.486.1500 FAX: 773.486.1501

DRAWN RDK
CHECKED
DATE 5.29.15
SCALE 1/8"=1'-0"
JOB NO. 1403
SHEET C-1
OF SHEETS

Project Scope:

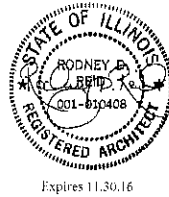
The Project Scope consists of the removal and replacement of the entire front (North) masonry clay tile back-up wall with brick veneer wall and its footing/foundation complete, including all doors, windows, etc. and replacement with new concrete masonry unit back-up with new brick veneer on new foundation. The West and East walls will just have the brick veneer removed and replaced with new brick and minor patching tie-in to the new foundation. New windows and doors will be installed with two new light fixtures.

There will be no new HVAC or Plumbing work.

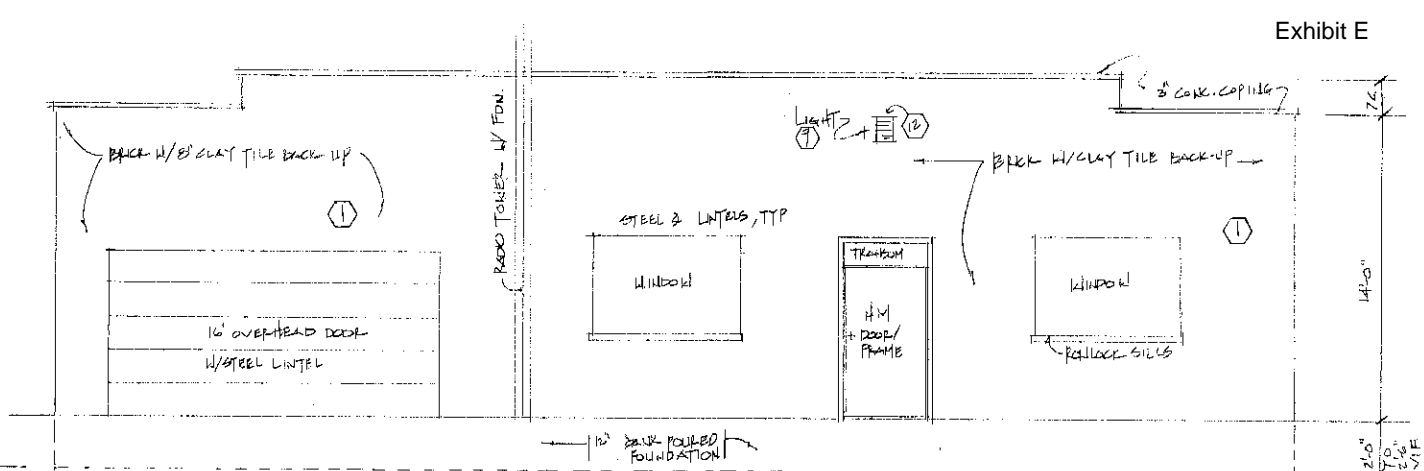
CODE INFORMATION

Applicable Codes:

- 1507 Illinois Accessibility Code
- 2009 International Building Code
- 2009 International Mechanical Code - (IMC) - (No new mechanical work included in this project)
- 2008 National Electric Code - (NEC)
- 2014 Illinois Plumbing Code - (IPC) - (No new Plumbing work included in this contract)
- 2012 Illinois Energy Conservation Code



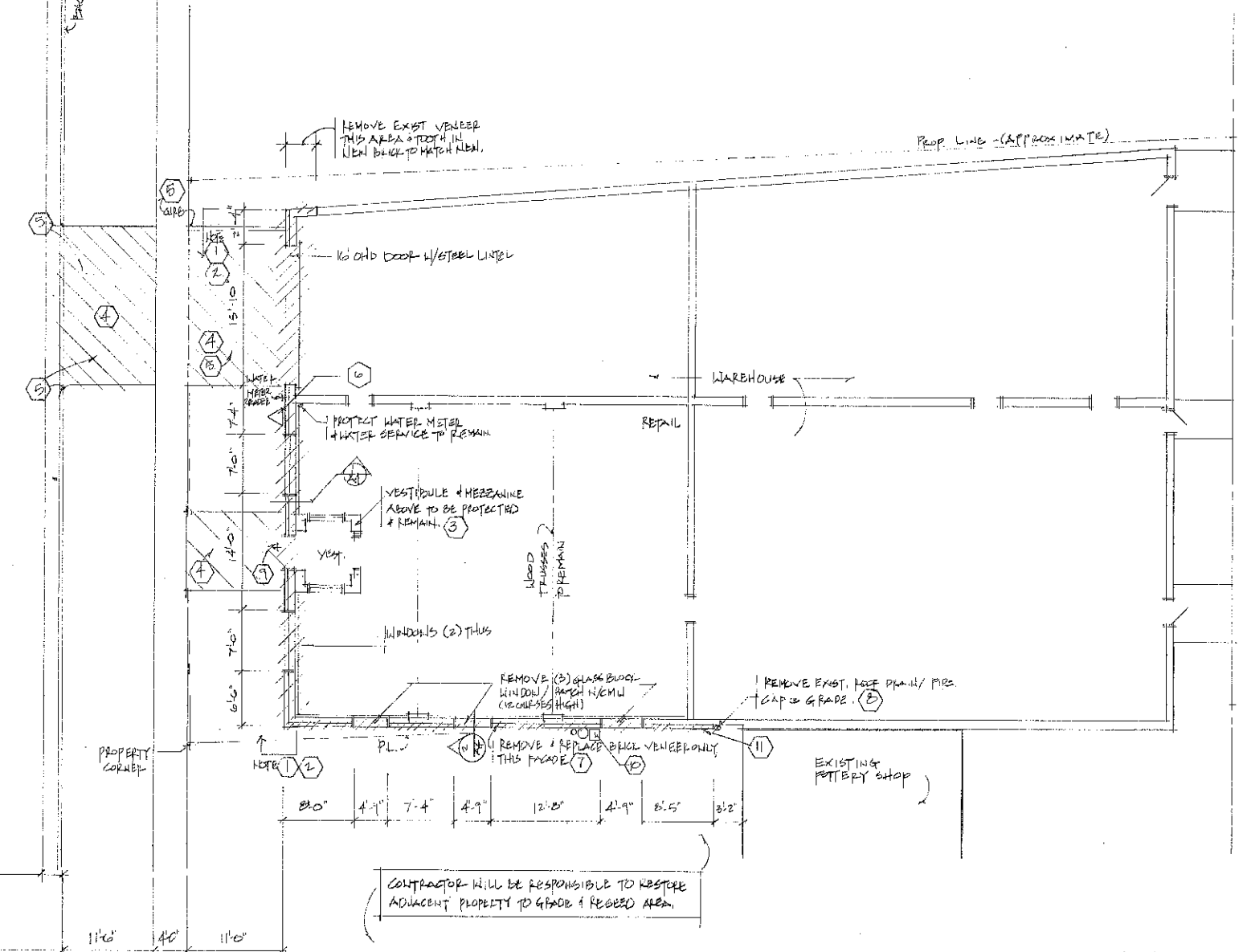
REMOVE ALL CONSTRUCTION OF NORTH FACADE INCLUDING BANK-POURED FDN. BRICK CLAY TILE, WINDOWS, DOORS, ETC. COMPLETE.



SEE PLAN BELOW FOR DEMOLITION & REMOVALS ON EAST & WEST FACADES

NORTH ELEVATION - EXISTING CONDITIONS - DEMO
14'-0"

BACK OF CURB/GUTTER
GRIGGS STREET
BACK OF CURB/GUTTER



- Keyed Demolition Notes**
1. Remove Existing Brick veneer with 8" clay tile back-up, complete from the bottom of the bank poured concrete foundation up through and including the 3" concrete coping. See the existing elevation and plan for dimensions. This includes the removal of windows, overhead and main doors, lights, steel lintels and all associated appearances.
 2. Remove foundation. Test excavation indicates that it is between 2' and 2'-6" deep and bank poured. There is no knowledge of whether or not there is any reinforcing. Saw cut and remove existing sidewalks and driveways.
 3. Protect interior vestibule and wood framed mezzanine and associated stairs. The vestibule is to remain. Patching to ensure that the vestibule and mezzanine remain in use should be included in the bid pricing.
 4. Contractor shall provide dumpsters and properly dispose of all construction debris from removals and construction process.
 5. Remove concrete driveways and sidewalks, and curb along the side of the driveway. Leave compacted sub-base in place for reuse at sidewalk and for bike parking area. Remove base at driveway between City Sidewalk and Street. Excavate slab areas as necessary and add 6" topsoil for planting in new grass area. Contractor will be required to match City of Urbana curb and gutter requirements when patching in that length of curb and gutter.
 6. Remove triangular metal radio tower complete with foundation/footing. There is no record of what is below grade.
 7. Remove brick veneer only on the West facade of the building. The clay tile back-up is intended to remain in place. Remove the (4) courses of 8" x 8" x 4"-8" glass block windows and patch in with cmu to match and then install new brick veneer as shown on the new work elevations. Three locations of glass block.
 8. Remove the roof drain and cap the pipe into the ground for future use.
 9. Remove existing light fixture, junction box and pull wiring back to interior JB. Use that interior JB to supply the two new light fixtures at the entry and the existing vestibule fixture. Install new light switch to operate two exterior fixtures and one switch for the existing interior vestibule fixture.
 10. Remove three existing plastic boxes and associate wiring. Protect existing weather-head and wiring and re-anchor after installation of new brick. Remove other existing abandoned conduit and associated wiring.
 11. Remove three through-wall anchor plates.
 12. Remove existing alarm box and pull associated wire and conduits. Box will not be replaced.

CONTRACTOR WILL BE RESPONSIBLE TO RESTORE ADJACENT PROPERTY TO GRADE & RESEED AREA.

SITE PLAN / REMOVALS
1/8" = 1'-0"

At the beginning of the project, the Contractor shall be responsible to design and install shoring for the existing roof systems on the Retail and Warehouse sides of the project prior to the removal of the masonry that will be replaced. The shoring shall remain in place until the new supporting masonry has reached its supportive strength. The Contractor shall also be responsible to secure the site with weather resistant temporary partitioning including a lockable access door for the Owner's use. This access will need to be coordinated with the Owner and the Contractor and the temporary partitioning may be removed when coordinated with the Architect and Owner.

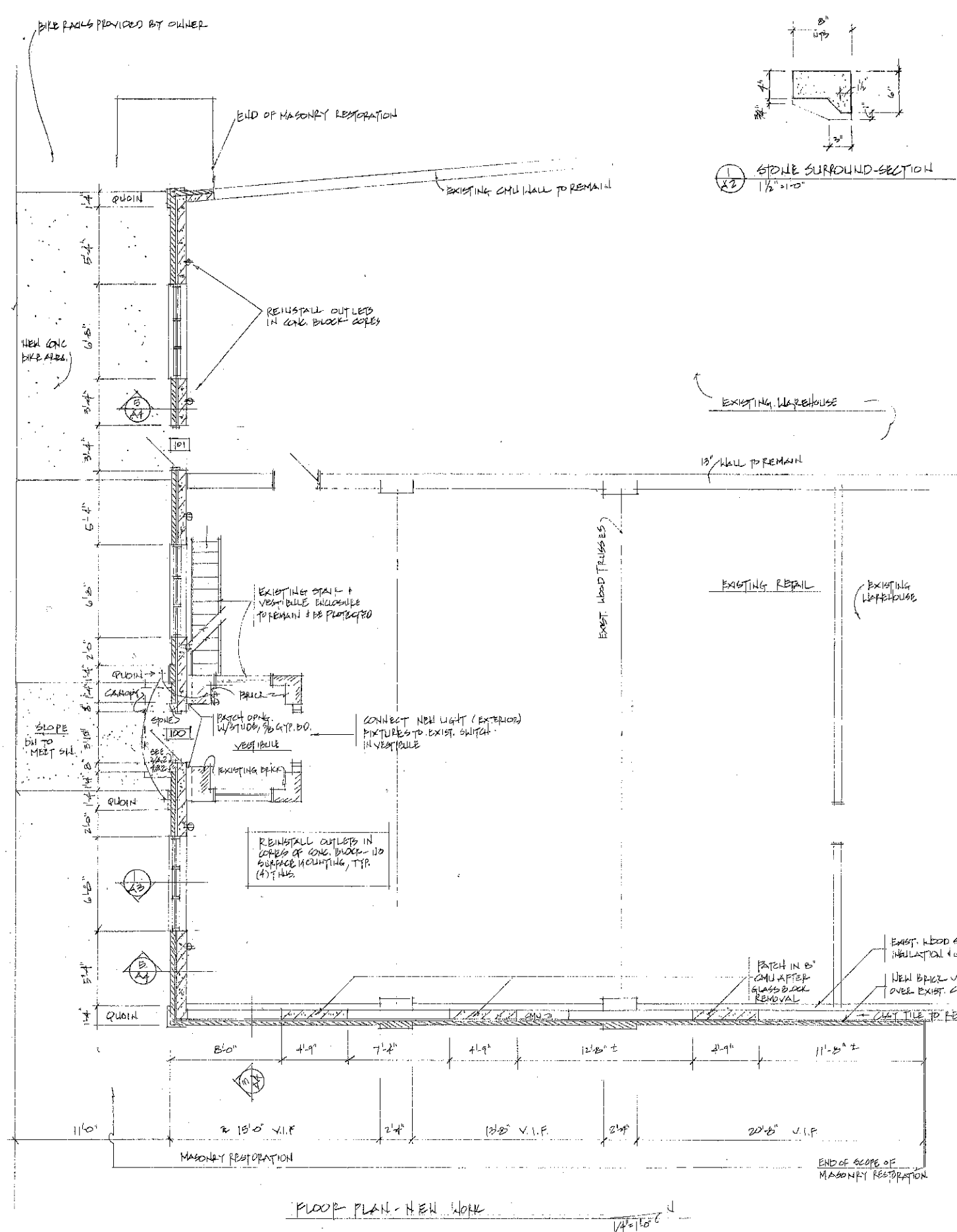
REVISIONS	BY

Merritt Building Masonry Restoration

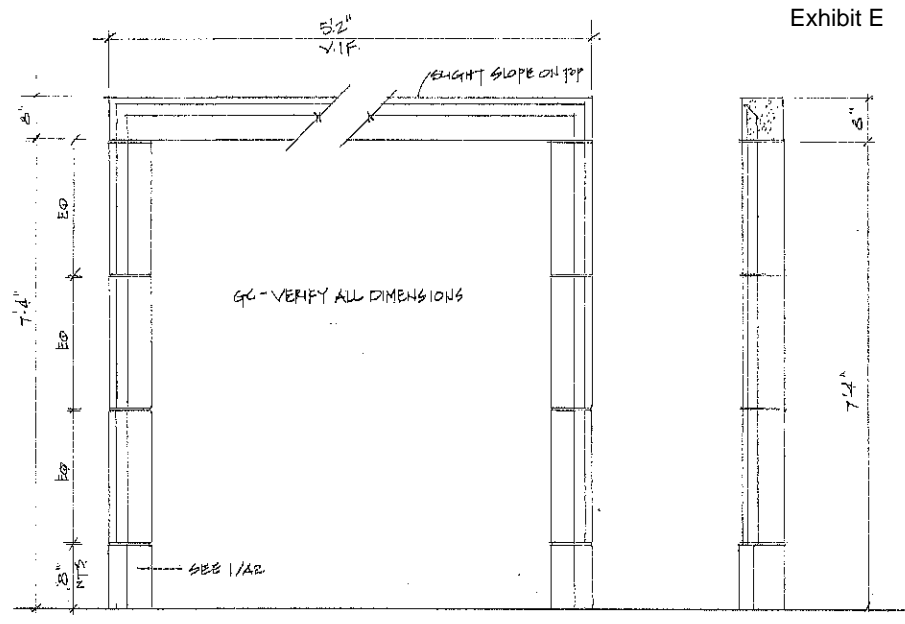
Renovation
303 West Bridge
Urbana, Illinois 62501

RSA Rod, Staff, Architects, LLC
1504 Hyman Drive, Champaign, Illinois 61822
PH: 219.244.4444 FAX: 219.244.4444

DRAWN RDT
CHECKED
DATE 1.16.15
SCALE 1/8" = 1'-0"
JOB NO. 1403
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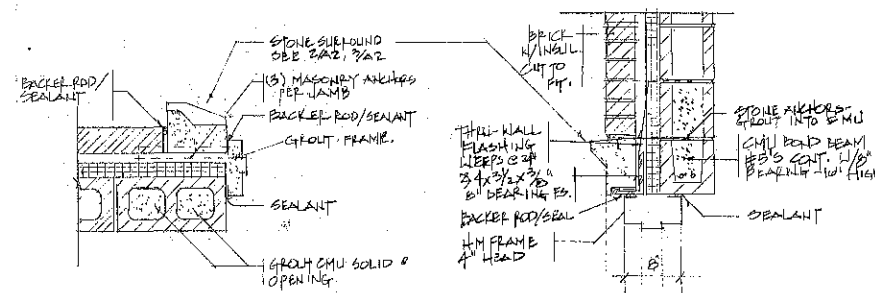


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STONE SURROUND-SECTION
1/8" = 1'-0"



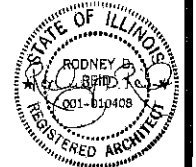
2
A2
STONE SURROUND-ELEVATION
3/4" = 1'-0" DOOR 100

3
A2
STONE SURROUND-SECTION
3/4" = 1'-0" DOOR 100



4
A2
ENTRANCE DOOR - JAMB - DOOR 101
1 1/2" = 1'-0"
DOOR 101 SIMILAR - NO STONE SURROUND

5
A2
ENTRANCE DOOR - HEAD - DOOR 100
1 1/2" = 1'-0"
DOOR 101 SIMILAR - NO STONE SURROUND - USE SAME X HEAD



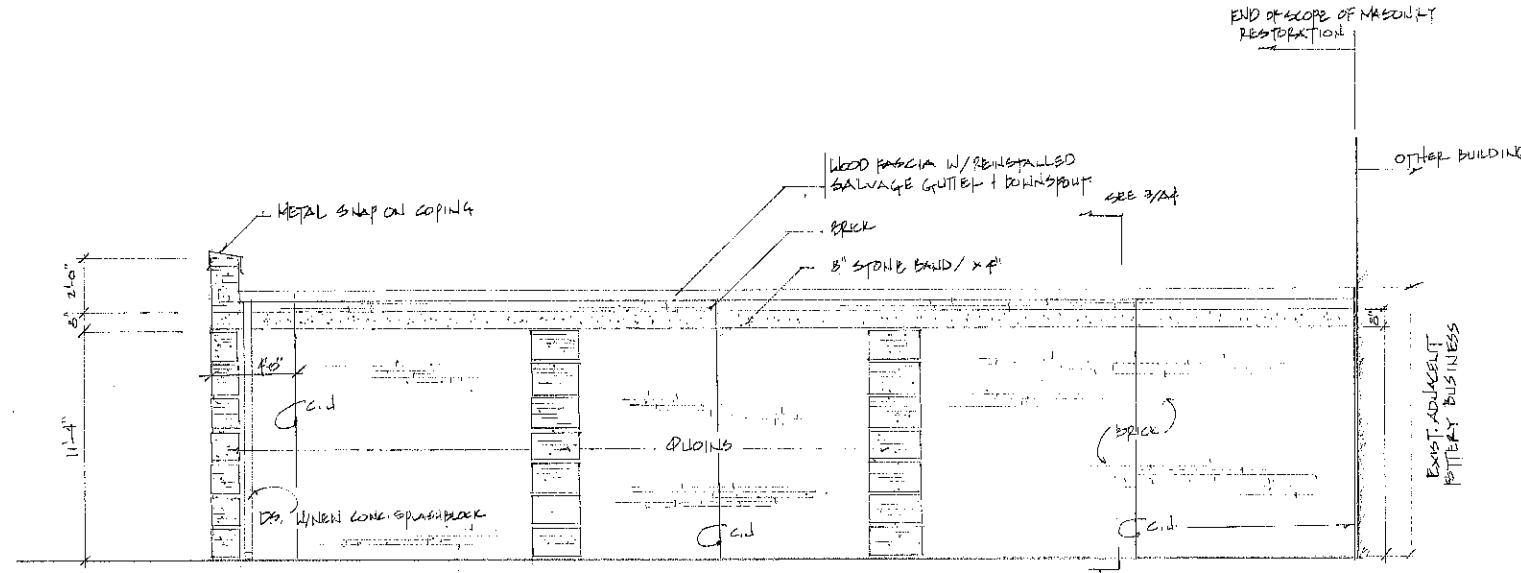
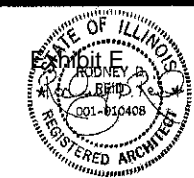
REVISIONS	BY

Merritt Building Masonry Restoration

Renovation
300 West Chicago
Chicago, Illinois 60610

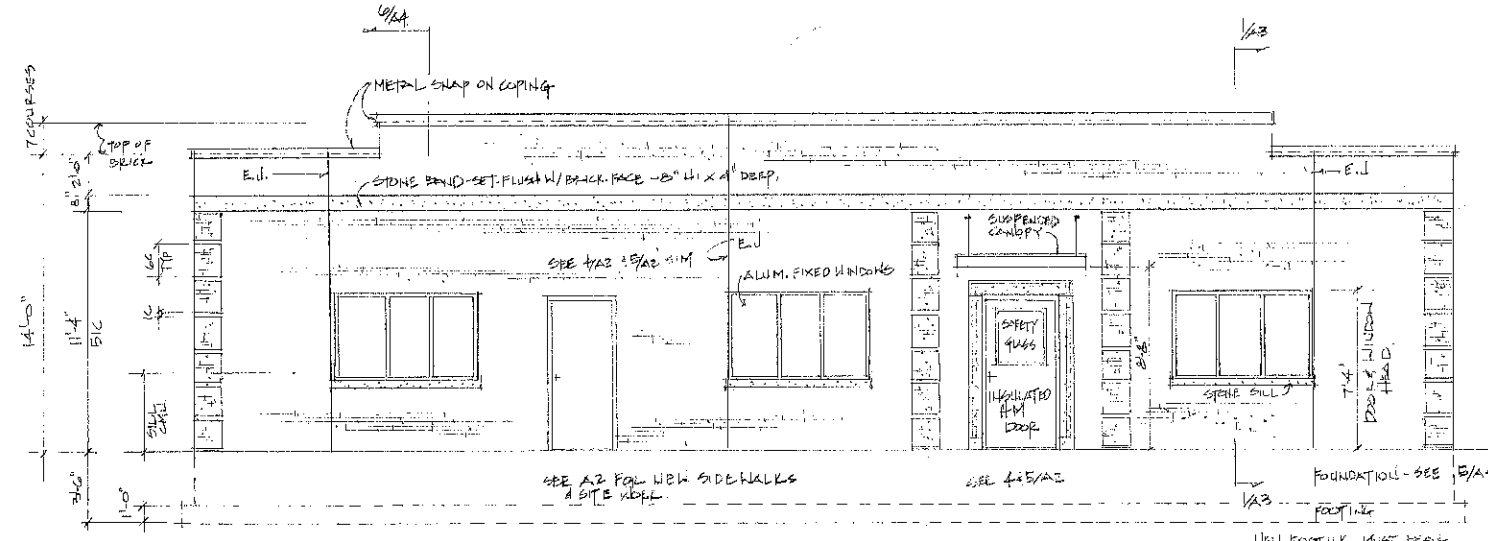
RSA Rod Stabin Architecture LLC
854 North Dearborn, Chicago, Illinois 60610
773.551.7463

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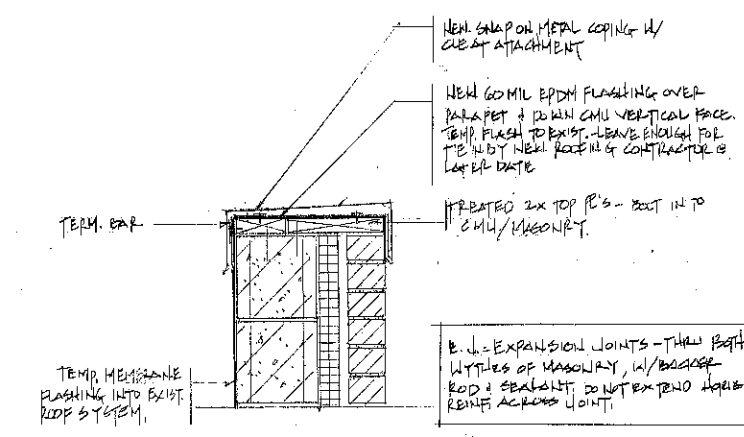


WEST ELEVATION
1/4" = 1'-0"

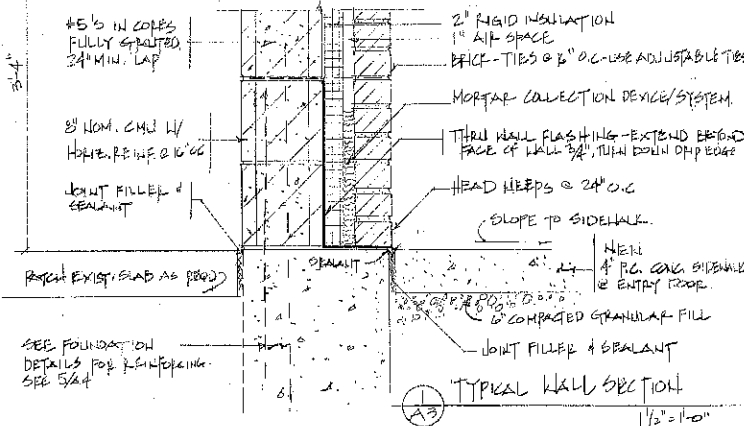
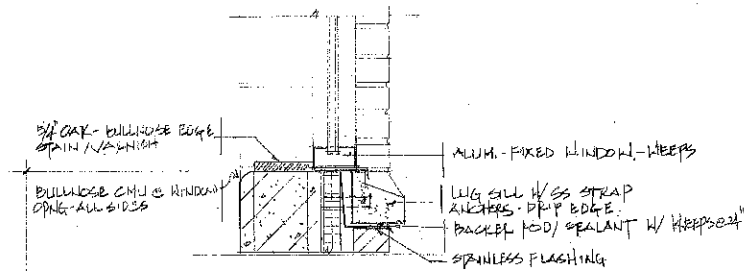
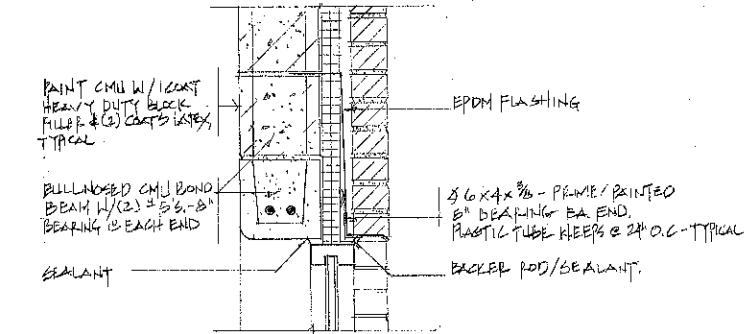
C.J. = CONTRA JOINT - BACKER ROD + SEALANT - THREE BRICK W/THRE ONLY.



NORTH ELEVATION
1/4" = 1'-0"



E.J. = EXPANSION JOINTS - THREE BRICK W/THRE OF MASONRY, W/ BRASS ROD + SEALANT. DO NOT EXTEND ABOVE RENTR ACROSS JOINT.



TYPICAL WALL SECTION
1 1/2" = 1'-0"

REVISIONS	BY

Merritt Building Masonry Restoration

Renovation
300 West Briggs
Chicago, Illinois 60610
Phone: 312-467-8800

RSA Real Studio Architecture, LLC
1991 Cleveland Drive, Chicago, Illinois 60622
312-467-8800
www.rsastudio.com

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DATE 9.10.15
SCALE 1/4" = 1'-0" / 1/8" = 1'-0"
JOB NO. 14033
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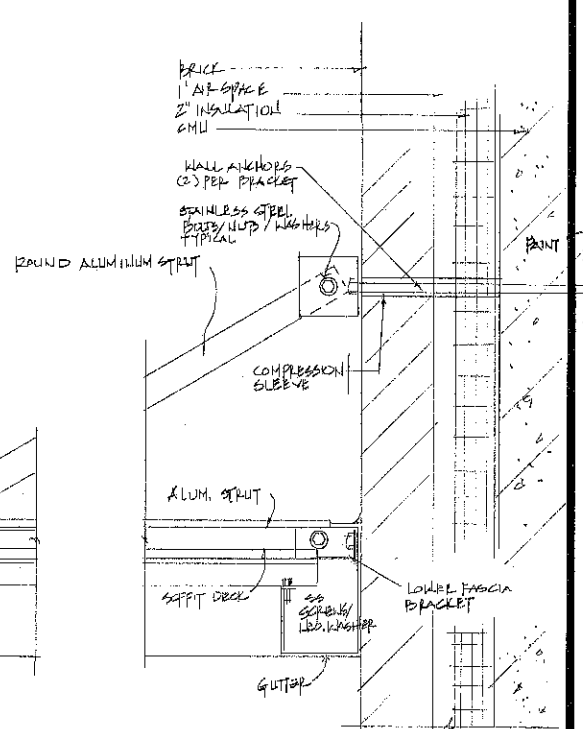
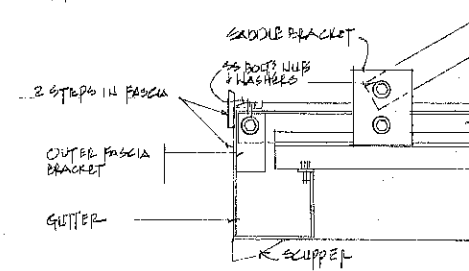
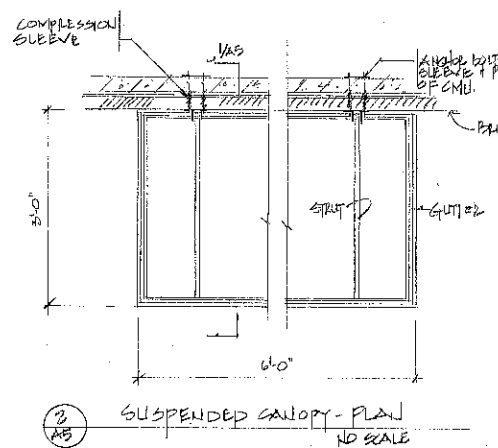
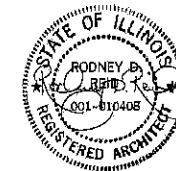
Specification Items:

- All materials are to be installed in accordance with the Manufacturer's installation recommendations unless otherwise noted. Any substitutions shall be applied for and approved prior to the receipt of bids.
- Cast stone shall meet the requirements of ASTM C1364 for the Cast Stone Institute. All stone anchors shall be 304 stainless steel. Flashing of stone shall be Teflon system or approved system. Color shall be from Manufacturer's standard colors in the buff range. Owner and Architect to select. Joints in stone and stone to brick shall be 3/8" with becker red and sealant. Flash at all stone banding, sills and surround. Install plastic tube weeps at 24" o.c. typical.
- The brick used will be selected by the Architect and Owner at a later date. For bidding purposes, the contractor shall figure an allowance of \$800 per thousand brick.
- Cavity wall insulation to be Styrofoam Cavity Meta board or Foamuler 250 by JLC Industries.
- Gypsum Board Drywall 5/8" fire code impact resistant Gypsum Board, to patch at the entry and 1/4" at other walls as required.
- Exterior Sealants and Interior Caulking: Tremco, Sarnoborn NP-1 exterior grade as basis of design.
- Paint: For CMU use Heavy Body Black filler and two coats Latex Paint Confirm all colors with Architect. Use Sherwin Williams/MAB or Benjamin Moore as acceptable products.
- Stain and varnish: new 5/4" oak sills, color to be selected by Architect with clear satin finish. Use Sherwin Williams/MAB or Benjamin Moore as acceptable products. Provide samples for Architect's review prior to start of finishing.
- New exterior doors shall be hollow metal insulated Extra Heavy Duty, 1 3/4" thick, composite construction; foam insulating core bonded to both faces; 16 gauge steel face sheets; .60 oz./sq galvanized coating. HM frames to be 14 gauge steel; 1.25 oz./sq galvanized coating. Provide three anchors per jamb for installation into masonry walls.
- Exterior Doors: by Steelscraft, Durries
Door 100
3'-6" x 7'-0" door x 1 3/4", w/ safety glass fits as shown (Needs Exterior Grade Paint Finish)
2 pair Hinges Hager Stainless Steel BHB95 5 x 5 NRP US220. Stainless Steel with SS pin
1 Closer 4040XP-S-CUSH 888 - By LCN
1 Threshold - S408A x 3'-6" by Resse or equal
1 Sweep 323A - x 3'-6" by Resse or equal
1 ea. Sets Weather-strip by Resse = 807A (3070) - Verify # with Manufacturer
1 Floor stop for exterior use for each door shall be 6J FB 38 or lves.
Silencers for each door
Glazing stops for this door
Egress always available.
1 rim exit device with lever outside = 89L x 89BL-RV x OS x 268 x 3'-5" by Von Duprin, including one Rim cylinder 20-022.
- Door 101
3'-0" x 7'-0" door x 1 3/4", (Needs Exterior Grade Paint Finish)
2 pair Hinges Hager Stainless Steel BHB95 5 x 5 NRP US220. Stainless Steel with SS pin
1 Closer 4040XP-S-CUSH 888 - By LCN
1 Threshold - S408A x 3'-0" by Resse or equal
1 Sweep 323A - x 3'-0" by Resse or equal
1 ea. Sets Weather-strip by Resse = 807A (3070) - Verify # with Manufacturer
1 Floor stop for exterior use for each door shall be 6J FB 38 or lves.
Silencers for each door
Glazing stops for this door
Egress always available.
1 rim exit device with lever outside = 89L x 89BL-RV x OS x 293 x 3'-0" by Von Duprin, including one Rim cylinder 20-022.
- For all new cylinders, key them separately and provide four keys for each cylinder and four master keys that open both cylinders.
- Exterior fascia board on West side at roof edge to be 1 x 8 Cedar, sanded and painted, color by Architect.
- New Windows shall be Kawneer 45MT with insulated safety glazing; dark bronze color framing or approved equal manufacturer and framing system.
- All concrete for footings and foundations shall be 4000 psi
- All new masonry anchors are to be Stainless steel.
- Use "Devilco" mortar not or approved equal for masonry cavity
- Use Metal Era - Perma-Tite snap on aluminum coping system or approved equal, 20 year warranty, overlap ends 8"-9"; continuous cleat system; color selected from Manufacturer's standard color range
- Provide new continuous gutter with downspouts to match existing in size. Color to be selected by Architect and Owner.
- The new curb and gutter section that is to be replaced in accordance with Urbana Codes and design regulations/requirements. Curb and gutter replacement must follow existing flow line of the street and match in size and configuration.
- The aluminum suspended canopy at the front entrance is noted as 3'-0" x 6'-0" wide. Acceptable manufacturers are Perfection Architectural Systems, Inc of Orlando, FL and Mayes Architectural Company of Lincoln, NE. GC to provide shop drawings prepared by the manufacturer to indicate all required materials and methods of connectivity to the Building for a complete installation. Color to be anodized bronze. Fasteners shall be stainless steel.

General Notes:

- All bidders must visit the site to become familiar with the conditions and site constraints prior to bidding. Questions or discrepancies in the Contract Documents will be brought to the attention of the Architect and shall be revised by Addendum.
- The Building is load bearing masonry exterior load with wood truss and 2 x wood roof framing system and EPDM roof. It is intended that the roofing and new insulation be replaced under another project by the Owner.
- Contractor shall provide insurance certificates and shall meet the requirements of the City of Urbana to perform business in the City.
- Contractor shall apply for and obtain all necessary permits from the City of Urbana to perform the work indicated in these documents.
- Contractor shall be responsible for safety and security of the jobsite and stored materials until such time as the security of the building can be turned over to the Owner. Safety of the construction site and building area and security of the building materials shall remain the responsibility of the contractor through the end of final completion.
- Contractor is not required to provide a bid bond. All contractors performing work on this project must be properly licensed with the City of Urbana and State of Illinois.
- There will be no new mechanical/HVAC or plumbing work in this project.
- Contractor is responsible for the design and construction of the temporary shoring of the building as required to remove and replace the masonry work noted on the documents.
- All existing exits and entrances shall be maintained in use. Access to the building through the front (North) entrance shall be maintained during construction by means of access through the temporary enclosure.
- Contractor shall provide \$500 allowance for light fixtures to be selected by Owner/Architect.

Exhibit E



INSTALL CANOPY IN ACCORD. W/ MANUFACTURER'S RECOMMENDATIONS AND AS NOTED

SUSPENDED CANOPY DETAIL / SECTION 1/8" SCALE

REVISIONS	BY

Merritt Building Masonry Restoration

Renovation
323 West Chicago
Urbana, Illinois 61801

RSA Rod Reed, Architect, LLC
1000 Riverside Drive, Champaign, Illinois 61820
PH: 219-244-1403 FAX: 219-244-1405

DRAWN
CHECKED
DATE 9.16.19
SCALE
JOB NO. 1403
SHEET A-5