



## DEPARTMENT OF COMMUNITY DEVELOPMENT SERVICES

*Planning Division*

m e m o r a n d u m

**TO:** Mayor Diane Marlin and City Council Members

**FROM:** John A. Schneider, MPA, Director, Community Development Services Department  
Lorrie Pearson, AICP, Deputy Community Development Director/Planning Manager  
Marcus Ricci, AICP, Planner II

**DATE:** August 29, 2019

**SUBJECT:** **An Ordinance Approving a Major Variance**  
(303 West University Avenue / ZBA Case No. 2019-MAJ-07)

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### Introduction

On behalf of the Urbana Park District, Derek Liebert has submitted a request for a Major Variance to expand the existing parking lot up to 16 feet into the 25-foot required front yard at Leal Park, 303 West University Avenue, in the CRE, Conservation-Recreation-Education Zoning District. The existing parking lot encroaches approximately 15 feet into the required front yard. Expanding the parking lot would extend the existing encroachment eastward by approximately 50 feet. The required front yard in the CRE zoning district is 25 feet.<sup>1</sup>

At its August 21, 2019, meeting, the Zoning Board of Appeals (ZBA) held a public hearing on this case. No members of the public spoke regarding the case. The ZBA voted unanimously, with six ayes and zero nays, to recommend that City Council approve the variance with one condition.

### Background

In 1987, the Urbana Park District (the District) decided to lease the Greek Revival Cottage at 303 West University Avenue to the International Society of Arboriculture, after having relocated the cottage from 1205 West Springfield Avenue and performing extensive renovations. This created a need for a parking lot and a sidewalk to access the cottage (Exhibit D). The District obtained a building permit from the City and installed a 12-space concrete parking lot, concrete sidewalks to the cottage, accessibility ramps, grading and landscaping. The District obtained an Entrance Permit from the Illinois Department of Transportation (IDOT) to build an entrance to the parking lot on West University Avenue, (US45/US150). The site plans with the 1987 building permit show the north line of the parking lot set back approximately 15 feet from the north property line. At the time, the Urbana Zoning Ordinance required a 25-foot front yard. City staff have found no record of a variance to permit the encroachment of the parking lot into the required front yard when it was originally built.

The Park District now uses the Greek Revival Cottage as an administrative office, with eight full-time-equivalent employees. Until recently, the District had an agreement with the former owners of 201 West University Avenue, which is approximately 40 feet east of the cottage, to allow District staff to park on their property. This agreement allowed the existing parking lot to be used by park visitors rather than District employees. The recent sale and development of 201 West University Avenue as a Culver's restaurant necessitated the end of that agreement. The District then entered into an agreement to lease parking spaces for District staff in the parking lot south of Leal Park. This latter agreement was considered a stopgap

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<sup>1</sup> Zoning Ordinance, Table VI-3.

measure until the Leal Park parking lot could be expanded to consolidate visitor and staff parking into a single lot. The proposed lot expansion would be closer to the District offices than the off-site parking, and access would be better lit to address safety concerns and would be more easily maintained for snow removal.

In 2014, the Illinois Department of Transportation (IDOT) purchased a four-foot-wide strip of land on the north side of the parcel from the District to expand the existing four-foot-wide sidewalk to an eight-foot-wide multi-use path along University Avenue. This reduced the depth of the District’s front yard. The District now seeks a Major Variance to consolidate visitor and staff parking by extending the existing parking lot eastward to add eight parking spaces. The proposed site plans show that the existing parking lot encroaches almost 16 feet into the required 25-foot front yard (Exhibit C). The proposed lot would angle slightly southward, but would still encroach 13.2 feet into the front yard at the east end of the 50-foot expansion.

The District investigated nearby off-site parking options but were unable to secure additional parking to meet their needs. The District also considered expanding the parking lot southward, but that would require the removal of more trees and would place the additional parking further into the quieter interior of the park, and would be closer to guests of the Lincoln Lodge Motel. The proposed eastward option is preferred, as it would require the removal of fewer trees and would keep parking closer to University Avenue.

**Description of Site**

The 2.5-acre Leal Park is located on the south side of West University Avenue between North Race Street and the former Broad Alley, between the new Culver’s Restaurant and the Lincoln Lodge Motel (Exhibit A). The existing parking lot is in the northwest corner of the parcel and the proposed expansion would extend it to the east. The following is a summary of zoning and land uses for the subject site and surrounding area (Exhibit B):

Table 1. Zoning and Land Use

<b>Location</b>	<b>Zoning</b>	<b>Existing Land Use</b>
Site	CRE, Conservation-Recreation-Education	Park
East	B-4, Central Business District	Restaurant
North	B-3, General Business	Auto Repair Shop
South	B-4, Central Business District	Parking Lot
West	B-3, General Business	Motel

**Discussion**

The applicant states that the proposed parking lot expansion would consolidate multiple parking areas the District has been using into a single lot on District property, and would compensate for the recent loss of the leased parking area on the Culver’s site. The proposed parking lot expansion would extend the existing encroachment into the required front yard eastward by approximately 50 feet. Other than the requested front yard variance, the proposed parking lot would comply with all other relevant city regulations, including zoning and building standards.

## Variance Criteria

Section XI-3 of the Urbana Zoning Ordinance requires the Zoning Board of Appeals to make findings based on variance criteria. The following is a review of the variance criteria as they pertain to this case:

1. *The proposed variance will not serve as a special privilege because the variance requested is necessary due to special circumstances relating to the land or structure involved or to be used for occupancy thereof, which is not generally applicable to other lands or structures in the same district.*

Given the desire to consolidate multiple parking areas into a single parking lot on District property and the location of mature and relocatable trees, the proposal to expand the parking lot eastward is the best available option, as it optimizes parking by adding spaces to the existing lot, using the existing access on West University Avenue, and minimizing the loss of mature trees.

2. *The variance request is not the result of a situation or condition having been knowingly or deliberately created by the Petitioner.*

The proposed variance should compensate for the recent loss of parking due to the sale and development of the parking area to the east: a situation that was not under the control of the District. The recent leasing of parking spaces in the parking lot to the south of Leal Park was designed as a stopgap measure until a more optimal and permanent solution could be found on District property.

3. *The variance will not alter the essential character of the neighborhood.*

The proposed parking lot expansion should not change the essential character of the neighborhood, as the existing parking lot has provided parking since 1987, and will consolidate existing parking demand at three parking areas into one main parking lot. The parking lot consolidation should not increase parking demand.

4. *The variance will not cause a nuisance to the adjacent property.*

The proposed variance should not cause a nuisance to adjacent properties because the proposed parking lot expansion consolidates existing parking by expanding an existing parking lot, which is located next to the motel's parking lot to the west. The expansion is along West University Avenue – away from residential areas – and is further away from the quieter areas of the park and from the residents of the adjacent motel than if the parking lot had been extended southward into the park.

5. *The variance generally represents the minimum deviation from requirements of the Zoning Ordinance necessary to accommodate the request.*

The proposed variance is the minimum necessary deviation from the requirements of the Zoning Ordinance to accommodate the request, as it would expand the existing parking lot along the current boundary eastward. To expand the parking lot eastward but outside of the required yard would result in an awkward L-shaped parking lot that would not function well. While the lot could be expanded to the south, outside of the front yard, the proposed configuration would result in the loss of fewer mature trees and quiet park areas than expanding the parking lot to the south.

6. *The variance requested is the result of practical difficulties or particular hardship in the way of carrying out the strict letter of the Zoning Ordinance relating to the use, construction, or alteration of buildings or structures or the use of land.*

Due to the practical difficulties posed by the configuration of the site, the proposed variance minimizes the loss of mature trees and quiet park areas while consolidating necessary parking on District property.

## **Zoning Board of Appeals**

At the August 21, 2019, ZBA meeting, Kara Dudek, Park Planner, outlined the District's goals and objectives for the proposed parking lot expansion, including meeting the need for parking capacity while minimizing loss of trees and maximizing safety and quiet areas. Ms. Dudek stated that the District would like to install a landscape buffer between the parking lot expansion and the sidewalk. Discussion included whether or not the expansion would use pervious materials. Ms. Dudek said it would not: additional plantings would provide a buffer along the lot's perimeter, and stormwater would flow to the existing drainage system.

The board voted unanimously, with six ayes and zero nays, to forward this case to the Urbana City Council with a recommendation to APPROVE the request with the condition as presented.

## **Summary of Staff Findings**

1. Derek Liebert, on behalf of the Urbana Park District, requests a Major Variance to expand the existing parking lot up to 16 feet into the 25-foot required front yard at Leal Park, 303 West University Avenue, in the CRE, Conservation-Recreation-Education Zoning District.
2. The proposed variance will not serve as a special privilege because the variance requested is necessary due to the special circumstances of the subject site requiring consolidation of parking areas and its configuration of mature trees. The proposal to expand the parking lot eastward is the best available option, as it optimizes parking by using the existing lot and minimizes the loss of mature trees.
3. The variance request is not the result of a situation knowingly or deliberately created by the Petitioner, as the District recently lost the staff parking area it had leased from an adjacent property owner when the property was sold and developed.
4. The proposed parking lot expansion should not change the essential character of the neighborhood, as the existing parking lot has provided parking since 1987, and will consolidate existing parking demand at three parking areas into one main parking lot.
5. The proposed variance should not cause a nuisance to adjacent properties because the proposed parking lot expansion consolidates existing parking by expanding an existing parking lot eastward along West University Avenue, away from residential and quieter park areas.
6. The proposed variance is the minimum necessary deviation from the requirements of the Zoning Ordinance to accommodate the request, as it would expand the existing parking lot along the current boundary eastward, maintaining the current lot boundaries, and reducing loss of trees and quiet park areas.
7. Due to the practical difficulties posed by the configuration of the site, the proposed variance minimizes the loss of mature trees and quiet park areas while optimizing the consolidation of existing parking capacity onto District property.
8. At the August 21, 2019, meeting, the Urbana Zoning Board of Appeals held a public hearing and voted unanimously, with six ayes and zero nays, to forward the case to the City Council with a recommendation of approval with a condition that the proposed parking lot expansion generally conform to the site plan and specifications in Ordinance Attachment A.

## **Options**

The Urbana City Council has the following options for this case:

1. **Approve** the variance based on the findings in this memo; or
2. **Approve the variance with certain terms and conditions**, and if so, articulate all terms and conditions, and findings; or
3. **Deny** the variance request, and if so, articulate findings supporting the denial.

### **Recommendation**

At the August 21, 2019, meeting, the ZBA voted with six ayes and zero nays to forward this case to the Urbana City Council with a recommendation to APPROVE the request, with one condition. City staff likewise recommends approval with the following condition:

- The proposed parking lot expansion shall generally conform to the attached site plan and specifications in Ordinance Attachment A.

Attachments:   A: Location Map  
                  B: Zoning Map  
                  C: Application with Site Plan  
                  D: 1987 Building Permit (Excerpt)

**ORDINANCE NO. 2019-09-052**

**AN ORDINANCE APPROVING A MAJOR VARIANCE**

**(303 W. University Ave. / ZBA Case No. 2019-MAJ-07)**

**WHEREAS**, the Urbana Zoning Ordinance provides for a major variance procedure to permit the Zoning Board of Appeals and the Corporate Authorities to consider applications for a major variance where there is a special circumstance or condition with a parcel of land or a structure; and

**WHEREAS**, the Urbana Park District has submitted a petition for a major variance to expand the existing parking lot eastward up to 16 feet into the 25-foot required front yard at Leal Park, 303 West University Avenue, in the CRE, Conservation-Recreation-Education Zoning District; and

**WHEREAS**, the Zoning Board of Appeals held a public hearing on such petition at 7:00 p.m. on August 21, 2019, in ZBA Case No. 2019-MAJ-07; and

**WHEREAS**, in accordance with Urbana Zoning Ordinance Section XI-10, due and proper notice of such public hearing was given by publication in *The News-Gazette*, a newspaper having a general circulation within the City, on a date at least 15 days but no more than 30 days before the time of the public hearing, and by posting a sign containing such notice on the real property identified herein; and

**WHEREAS**, the Zoning Board of Appeals voted six (6) ayes and zero (0) nays to forward the case to the Urbana City Council with a recommendation to approve the requested variance with one condition; and

**WHEREAS**, the City Council finds that the requested variance conforms with the major variance procedures in Article XI, Section XI-3(C)(2)(d), of the Urbana Zoning Ordinance; and

**WHEREAS**, the City Council has considered the variance criteria established in the Urbana Zoning Ordinance and has made the following findings of fact:

1. The Urbana Park District requests a major variance to expand the existing parking lot eastward up to 16 feet into the 25-foot required front yard at Leal Park, 303 West University Avenue, in the CRE, Conservation-Recreation-Education Zoning District.
2. The proposed variance will not serve as a special privilege because the variance requested is necessary due to the special circumstances of the subject site requiring consolidation of parking areas. Due to the configuration of the site, the proposal to expand the parking lot

eastward is the best available option, as it optimizes parking by using the existing lot and minimizes the loss of mature trees.

3. The variance request is not the result of a situation knowingly or deliberately created by the petitioner, as the Park District recently lost the staff parking area it had leased from an adjacent property owner when the property was sold and developed.
4. The proposed parking lot expansion should not change the essential character of the neighborhood, as the existing parking lot has provided parking since 1987 and will consolidate existing parking demand at three parking areas into one main parking lot.
5. The proposed variance should not cause a nuisance to adjacent property owners because the proposed parking lot expansion consolidates existing parking by expanding an existing parking lot eastward along West University Avenue, away from residential and quieter park areas.
6. The proposed variance is the minimum deviation from the requirements of the Zoning Ordinance to accommodate the request, as it would expand the existing parking lot along the current boundary eastward, maintaining the current lot boundaries, and reducing loss of trees and quiet park areas
7. Due to the practical difficulties posed by the configuration of the site, the proposed variance minimizes the loss of mature trees and quiet park areas while optimizing the consolidation of existing parking capacity onto Park District property.

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Urbana, Illinois, as follows:

**Section 1.**

In ZBA Case No. 2019-MAJ-07, the major variance requested by the Urbana Park District to allow expansion of the existing parking lot up to 16 feet into the 25-foot required front yard in the CRE, Conservation-Recreation-Education Zoning District, is hereby approved in the manner proposed in the application with the following condition: The proposed parking lot expansion shall generally conform to the site plan and specifications as set forth in Attachment “A,” which is attached hereto and incorporated herein by reference.

The major variance described above shall only apply to the property located at 303 West University Avenue, more particularly described as follows:

Commencing 33 feet South of the Northeast corner of the Southeast quarter of the Southwest quarter of Section 8, Township 19, North, Range 9 East of the Third Principal Meridian, running thence West 296.81 feet to the Northeast corner of Lot 1 of S. T. Busey's Second Addition to the City of Urbana, Illinois, thence South 380 feet,

thence East 296.81 feet to the East line of the Southeast quarter of the Southwest quarter of Section 8, Township 19 North, Range 9 East of the Third Principal Meridian, thence North on said line a distance of 380 feet to the place of beginning, said premises being known as the "Old Cemetery", as shown in survey recorded April 7, 1903, in Plat Book B at page 125 in the Recorder's Office of Champaign County, Illinois, situated in Champaign County, Illinois.

Commonly known as 303 West University Avenue  
P.I.N.: 91-21-08-376-012

**Section 2.**

The City Clerk is directed to publish this Ordinance in pamphlet form by authority of the corporate authorities, and this Ordinance shall be in full force and effect from and after its passage and publication in accordance with Section 1-2-4 of the Illinois Municipal Code. Upon approval of this Ordinance, the City Clerk is directed to record a certified copy with the Champaign County Office of the Recorder of Deeds and transmit one copy of the recorded Ordinance to the petitioner.

This Ordinance is hereby passed by the affirmative vote, the "ayes" and "nays" being called of a majority of the members of the Council of the City of Urbana, Illinois, at a meeting of said Council.

**PASSED BY THE CITY COUNCIL** this date day of Month, Year.

AYES:

NAYS:

ABSTENTIONS:

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Charles A. Smyth, City Clerk

**APPROVED BY THE MAYOR** this date day of Month, Year.

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Diane Wolfe Marlin, Mayor



**CERTIFICATE OF PUBLICATION IN PAMPHLET FORM**

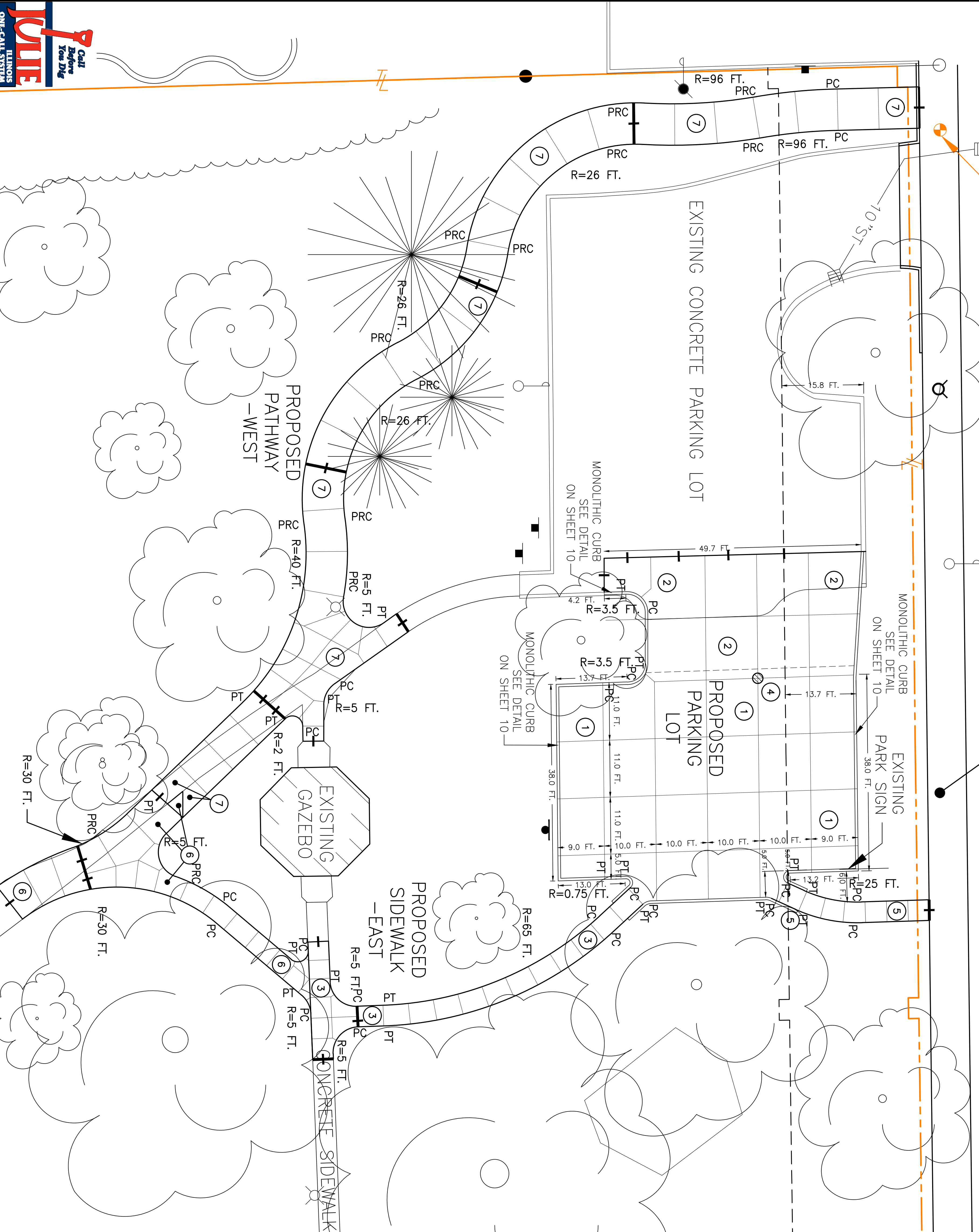
I, Charles A. Smyth, certify that I am the duly elected and acting Municipal Clerk of the City of Urbana, Champaign County, Illinois. I certify that on the \_\_\_\_\_ day of \_\_\_\_\_, 2019, the corporate authorities of the City of Urbana passed and approved Ordinance No. \_\_\_\_\_, entitled “An Ordinance Approving a Major Variance (303 West University Avenue / ZBA-2019-MAJ-7)” which provided by its terms that it should be published in pamphlet form. The pamphlet form of Ordinance No. \_\_\_\_\_ was prepared, and a copy of such Ordinance was posted in the Urbana City Building commencing on the \_\_\_\_\_ day of \_\_\_\_\_, 2019, and continuing for at least ten (10) days thereafter. Copies of such Ordinance were also available for public inspection upon request at the Office of the City Clerk.

DATED at Urbana, Illinois, this \_\_\_\_\_ day of \_\_\_\_\_, 2019.

# ORDINANCE ATTACHMENT A - SITE PLANS

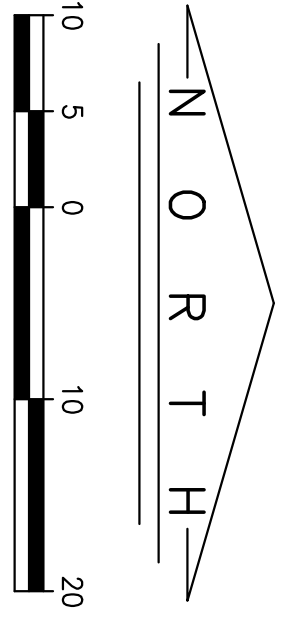
ELEV. = 722.45 FT.

PROPOSED IDOT  
MULTI-USE PATHWAY



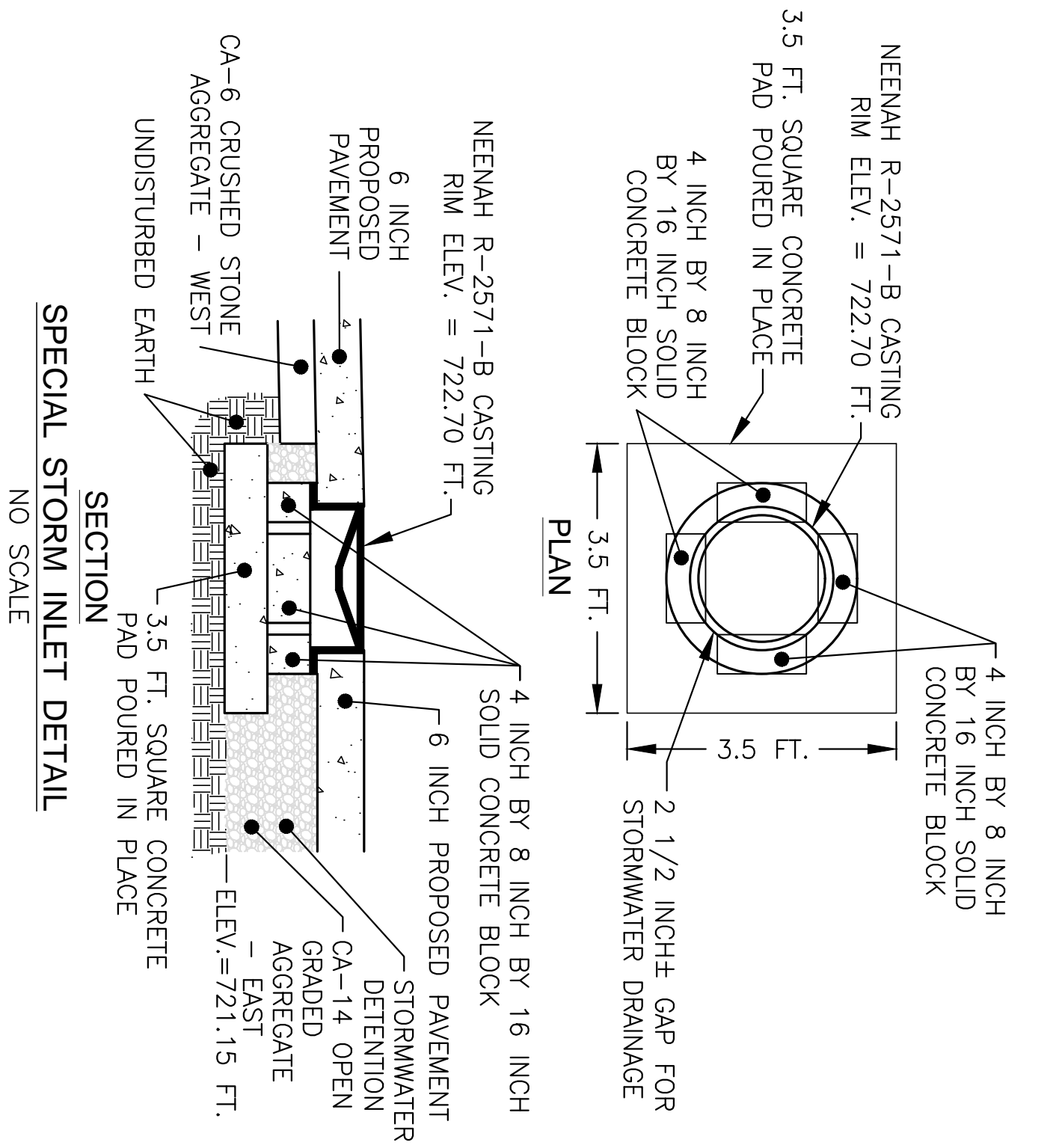
## LEGEND

- ISOLATION JOINT
- EXPANSION JOINT WITH SMOOTH DOWEL
- CONSTRUCTION JOINT WITH #4 REBAR
- R= CURVE RADIUS
- PC POINT-OF-CURVATURE
- PT POINT-OF-TANGENCY
- PCC POINT-OF-COMPOUND CURVATURE



## KEYED NOTES

- 1 BASE BID: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE PARKING LOT WITH MONOLITHIC CURB AND OPEN GRADED CA-14 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 10.
  - 2 BASE BID: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE PARKING LOT WITH MONOLITHIC CURB AND CA-6 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 10.
  - 3 BASE BID: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE SIDEWALK WITH MINIMUM 4-INCH THICKNESS CA-6 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 9.
  - 4 BASE BID: INSTALL SPECIAL STORM INLET WITH NEENAH R2571-B CASTING. SEE DETAIL ON THIS SHEET.
  - 5 ALTERNATE BID 1: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE SIDEWALK WITH MINIMUM 4-INCH THICKNESS CA-6 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 9.
  - 6 ALTERNATE BID 2: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE SIDEWALK/MULTIUSE PATHWAY WITH MINIMUM 4-INCH THICKNESS CA-6 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 9.
  - 7 ALTERNATE BID 3: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE MULTIUSE PATHWAY WITH MINIMUM 4-INCH THICKNESS CA-6 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 9.
- SEE SHEET 6 FOR PARKING LOT AND PATHWAY LOCATION COORDINATE DATA.



**DATE:** 05/21/19

**SHEET:** 4 OF 11

**JOB:** 1623-1

**LEAL PARK PARKING LOT**

EXPANSION/PATHWAY IMPROVEMENT PROJECT, URBANA PARK DISTRICT, CITY OF URBANA, CHAMPAIGN COUNTY, ILLINOIS

**URBANA PARK DISTRICT**

505 WEST STOUGHTON STREET  
URBANA, ILLINOIS 61801  
PHONE: 217 / 367 - 1544

**BENNS, CLANCY AND ASSOCIATES ENGINEERS**

• SURVEYORS • PLANNERS

405 EAST MAIN STREET - POST OFFICE BOX 0795  
URBANA, ILLINOIS 61803-0795  
PHONE: (217) 367-1144 FAX: (217) 364-4355

**REVISIONS**

NO.	DESCRIPTION	DATE
1	GM 6/25/19/CITY OF URBANA REVIEW	6/25/19
2	RDM 7/23/19/VARIANCE REQUEST	7/23/19

**FILE:** 1623-1.DWG

**NOTES:**

NOTE: THE EXACT LOCATION OF THE MONOLITHIC CURB, PAVEMENT AND CONSTRUCTION ACTIVITIES FOR UTILITY LOCATIONS SHALL BE DETERMINED BY THE UTILITY LOCATIONS ENGINEER AND ASSOCIATES, P.C.



# Exhibit A: Location & Existing Land Use Map

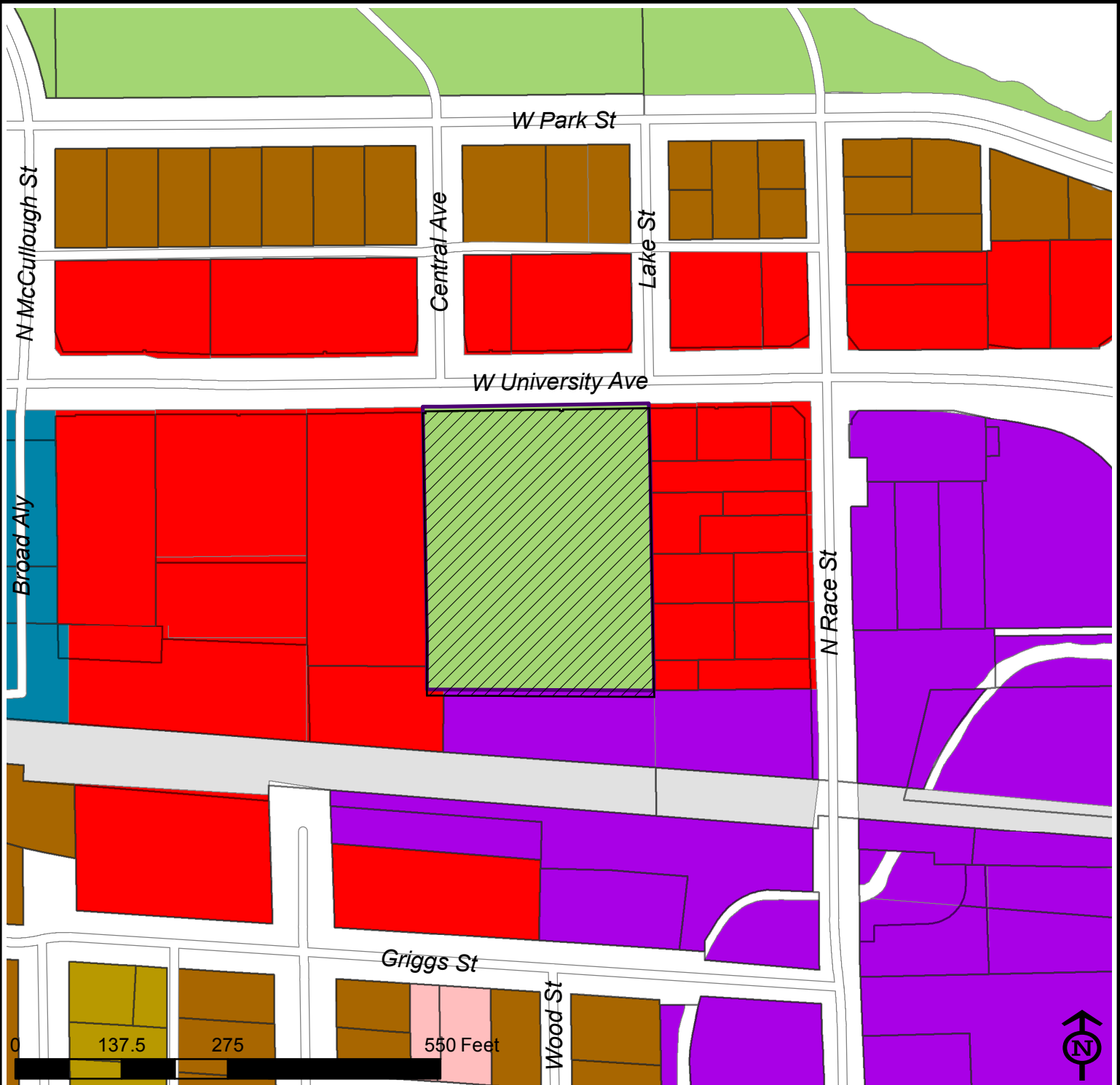


Case: ZBA-2019-MAJ-07  
 Subject: Leal Park Parking Extension  
 Location: 303 W. University Avenue  
 Petitioner: Derek Liebert c/o Urbana Park District

 Subject Property



# Exhibit B: Zoning Map



Case: ZBA-2019-MAJ-07  
 Subject: Leal Park Parking Extension  
 Location: 303 W. University Avenue  
 Petitioner: Derek Liebert c/o Urbana Park District

- |  |    |  |      |  |    |
|--|----|--|------|--|----|
|  | B1 |  | CRE  |  | R4 |
|  | B3 |  | IN-1 |  | R5 |
|  | B4 |  | MIC  |  |    |

Subject Property

# Exhibit C: Application



## Application for Variance

## ZONING BOARD OF APPEALS

The application fee must accompany the application when submitted for processing. Please refer to the City's website at <http://www.urbanaininois.us/fees> for the current fee associated with this application. The Applicant is also responsible for paying the cost of legal publication fees. Estimated costs for these fees usually run between \$75.00 and \$225.00. The applicant will be billed separately by the News-Gazette.

### DO NOT WRITE IN THIS SPACE - FOR OFFICE USE ONLY

Date Request Filed 07-22-2019 ZBA Case No. ZBA-2019-MAJ-07  
Fee Paid - Check No. 013676 Amount \$200.00 Date 07-22-2019

### PLEASE PRINT OR TYPE THE FOLLOWING INFORMATION

A VARIATION is requested in conformity with the powers vested in the Zoning Board of Appeals to permit the following variation (*Describe the extent of the Variation Requested*)

To allow up to a 16' encroachment into the 25' required front yard on the property described below, and in conformity with the plans described on this variance request.

#### 1. APPLICANT CONTACT INFORMATION

Name of Applicant(s): **Derek Liebert, Urbana Park District** Phone: **217-344-9583**  
Address (street/city/state/zip code): **1011 E. Kerr Ave, Urbana IL 61802**  
Email Address: **daliebert@urbanaparks.org**  
Property interest of Applicant(s) (Owner, Contract Buyer, etc.): **Superintendent of Planning and Operations**

#### 2. OWNER INFORMATION

Name of Owner(s): **Urbana Park District** Phone: **217-367-1536**  
Address (street/city/state/zip code): **303 W. University Ave, Urbana IL 61801**  
Email Address: **tabartlett@urbanaparks.org**

Is this property owned by a Land Trust?  Yes  No  
*If yes, please attach a list of all individuals holding an interest in said Trust.*

#### 3. PROPERTY INFORMATION

Location of Subject Site: **Leal Park, 303 W. University Ave.**  
PIN # of Location: **91-21-08-376-012**  
Lot Size: **2.5 acres**

# Exhibit C: Application

Current Zoning Designation: **Conservation Recreation Education (CRE)**

Current Land Use (*vacant, residence, grocery, factory, etc*): **Park Administrative office and Park Land**

Proposed Land Use: **no change**

Legal Description (*If additional space is needed, please submit on separate sheet of paper*):

**Commencing 33 feet South of the Northeast corner of the Southeast quarter of the Southwest quarter of Section 8, Township 19, North, Range 9 East of the Third Principal Meridian, running thence West 296.81 feet to the Northeast corner of Lot 1 of S. T. Busey's Second Addition to the City of Urbana, Illinois, thence South 380 feet, thence East 296.81 feet to the East line of the Southeast quarter of the Southwest quarter of Section 8, Township 19 North, Range 9 East of the Third Principal Meridian, thence North on said line a distance of 380 feet to the place of beginning, said premises being known as the "Old Cemetery", as shown in survey recorded April 7, 1903, in Plat Book B at page 125 in the Recorder's Office of Champaign County, Illinois, situated in Champaign County, Illinois.**

## 4. CONSULTANT INFORMATION

**Name of Architect(s):**

Phone:

Address (*street/city/state/zip code*):

Email Address:

**Name of Engineers(s):** Roger Meyer, Berns Clancy and Associates

Phone: **217-384-1144**

Address (*street/city/state/zip code*): **405 E Main St, PO Box 0755, Urbana IL 61803-0755**

Email Address: **rmeyer@bernsclancy.com**

**Name of Surveyor(s):**

Phone:

Address (*street/city/state/zip code*):

Email Address:

**Name of Professional Site Planner(s):**

Phone:

Address (*street/city/state/zip code*):

Email Address:

**Name of Attorney(s):**

Phone:

Address (*street/city/state/zip code*):

Email Address:

## 5. REASONS FOR VARIATION

Identify and explain any special circumstances or practical difficulties in carrying out the strict application of the Zoning Ordinance with respect to the subject parcel.

**The proposed parking extension is designed to align with the existing parking lot and to minimize impact to park land and trees. Other configurations were considered by staff and engineer but they would have had a greater impact to the park and adjacent trees. Other configurations would also have had diminished accessibility and safety for staff and public visiting the district headquarters. The proposed alignment provides improved accessibility and safety while minimizing park impacts.**

# Exhibit C: Application

Explain how the variance is necessary due to special conditions relating to the land or structure involved which are not generally applicable to other property in the same district.

The UPD is seeking to provide sufficient parking for district staff and visitors while minimizing impact to historic Leal Park. The existing lot was built in 1987, to then-current zoning standards, and was designed to be expanded to the east if and when needed. Overflow parking was previously available on the easterly-adjacent property at the corner of University Ave and Race Street. This overflow parking limited the need for the eastern parking expansion until recent. Since 1987, the required front yard increased from 15' to 25', necessitating this variance request to expand the lot as originally designed.

Explain how the variance is not the result of a situation or condition that was knowingly or deliberately created by you (the Petitioner).

The easterly-adjacent property at the corner of University Ave and Race St recently sold and is being developed. This overflow parking is no longer available to the Urbana Park District. As a result, the UPD is temporarily leasing parking spaces at the gravel lot on the south side of Leal Park. While the UPD is appreciative of this stopgap solution, these leased spots are not a suitable long-term solution.

Explain why the variance will not alter the essential character of the neighborhood.

The proposed variance is for a previously-planned extension of the existing parking lot that will minimize loss of trees and park impacts. It will preserve the character of the park while providing the additional spaces needed. The configuration of the parking will also provide for improved connections between the park district's internal park trail and the proposed widening of the University Ave sidewalk. The additional parking will consolidate existing parking spaces into this single parking area.

Explain why the variance will not cause a nuisance to adjacent property.

The proposed parking is designed to be extend eastwards and away from the nearest adjacent property owner to the west. By expanding towards the center of the park and along University Ave, it minimizes impacts to all surrounding neighbors. Other parking lot configurations were briefly considered that would have more neighbor impacts.

Does the variance represent the minimum deviation necessary from the requirements of the Zoning Ordinance? Explain.

The requested variance would allow the UPD to reasonably expand the needed parking while minimizing impacts to park trees. By limiting the number of new spaces, the proposed parking is preserving an 18" diameter-at-breast height (dbh) red oak at the eastern extent of the proposed expansion. Additionally a 14" dbh sugar maple will be encompassed in a tree island on the southern edge of the proposed expansion. (continued on attached)


***NOTE: If additional space is needed to accurately answer any question, please attach extra pages to the application.***

***By submitting this application, you are granting permission for City staff to post on the property a temporary yard sign announcing the public hearing to be held for your request.***

# Exhibit C: Application

## CERTIFICATION BY THE APPLICANT

I certify all the information contained in this application form or any attachment(s), document(s) or plan(s) submitted herewith are true to the best of my knowledge and belief, and that I am either the property owner or authorized to make this application on the owner's behalf.

  
\_\_\_\_\_  
Applicant's Signature

7/22/19  
\_\_\_\_\_  
Date

## PLEASE RETURN THIS FORM ONCE COMPLETED TO:

City of Urbana  
Community Development Department Services  
Planning Division  
400 South Vine Street, Urbana, IL 61801  
Phone: (217) 384-2440  
Fax: (217) 384-2367



# Exhibit C: Application

In addition to the two trees that are being preserved, a smaller 1.5" dbh Ohio buckeye will be spade-relocated to a new location within the park. Two trees will need to be removed for the proposed expansion. A 17" dbh sugar maple, which will already be adversely impacted by the IDOT sidewalk expansion on the north and would not tolerate further impacts, will be removed. A smaller 5" dbh multi-stemmed star magnolia will also need to be removed. The park district will be planting replacement trees and remains committed to preserving and enhancing the urban forest of Leal Park.

In considering other alternatives, the UPD considered expanding parking to the south but realized this option would have negatively affected more trees than the proposed expansion to the east.

Additionally, a southern expansion would have provided less accessibility and posed additional safety concerns for staff and public visiting the district's administrative headquarters. A southern expansion would also require more extensive lighting changes and additions. The UPD prefers to keep park lighting at a minimum in accordance with Dark Sky guidelines.

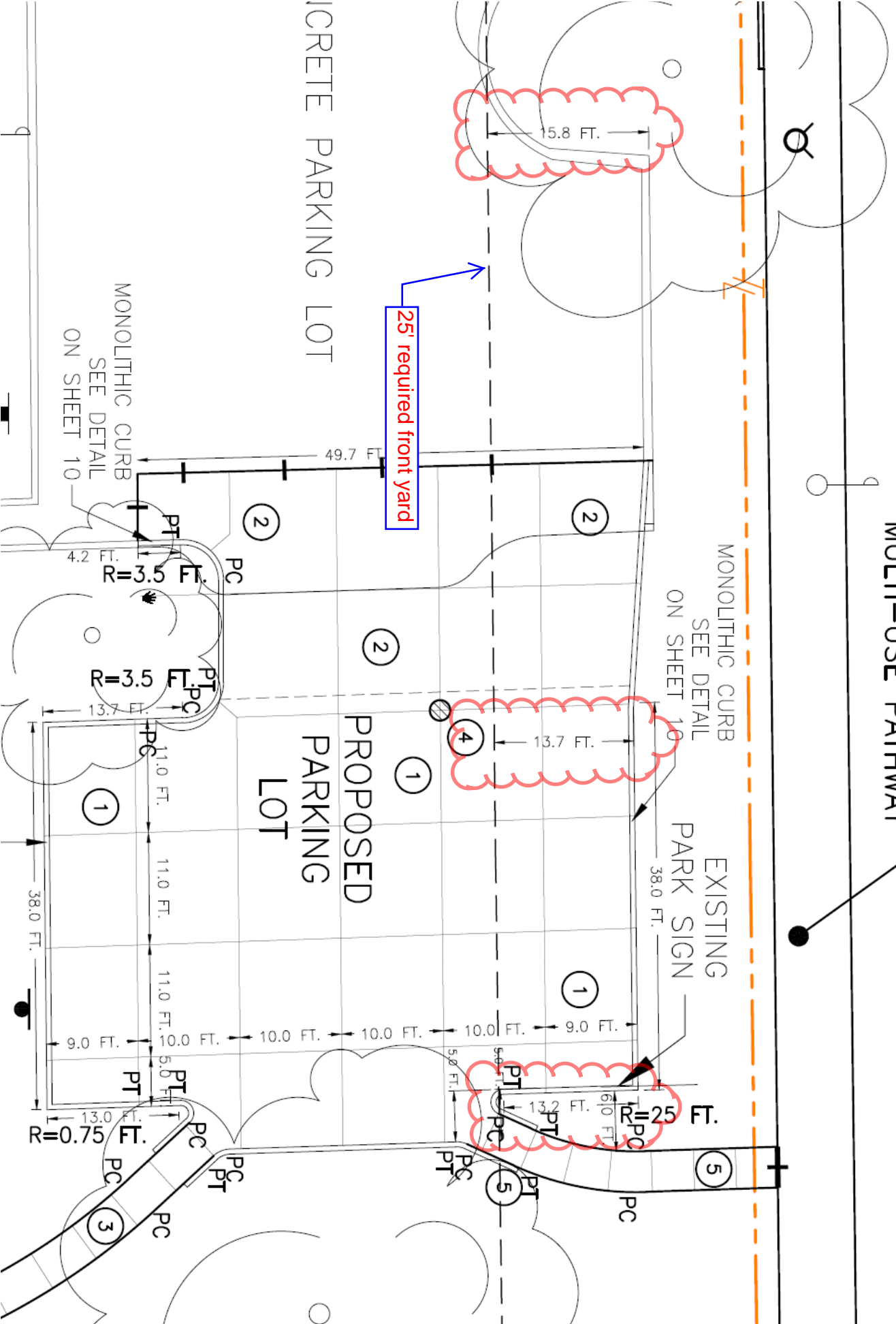
The UPD previously discussed an alternative of joint parking improvements to the west with a realtor representing a potential developer of the property, but the opportunity fell through due to space constraints. The development would have required up to a third of the park space and, as such, was not an alternative that could be given any consideration.

After evaluating numerous options and alternatives, UPD staff recommend that the proposed alignment best meets the needs of district for the long term while reflecting our value of green over gray. The alignment minimizes impacts to park land and trees, is respectful of neighboring land uses, and improves accessibility and safety for visitors to the district's administrative headquarters.

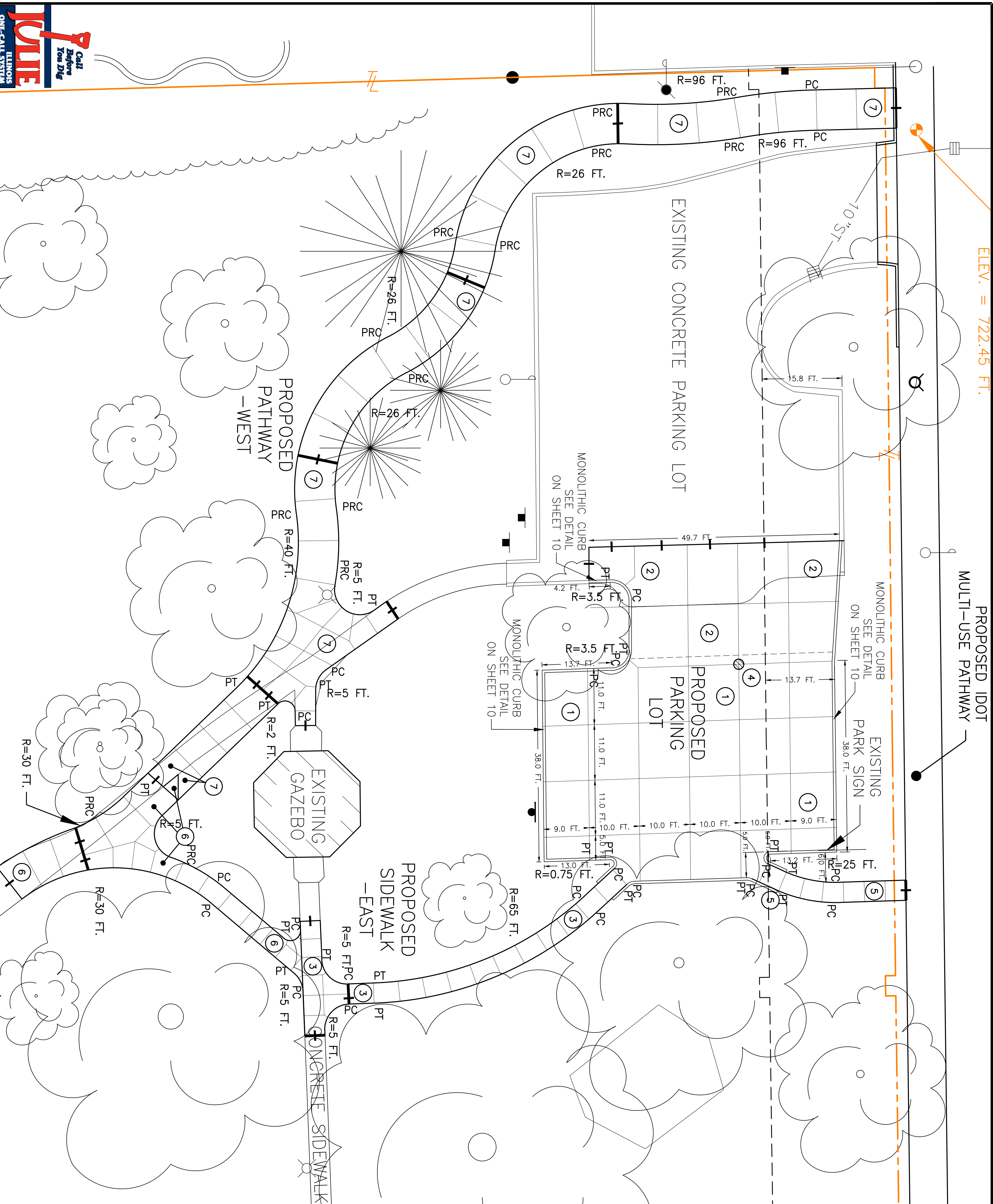
# EXHIBIT C. SITE PLANS

722.45 FT.

PROPOSED IDOT  
MULTI-USE PATHWAY



# EXHIBIT C. SITE PLANS



ELEV. = 722.45 FT.

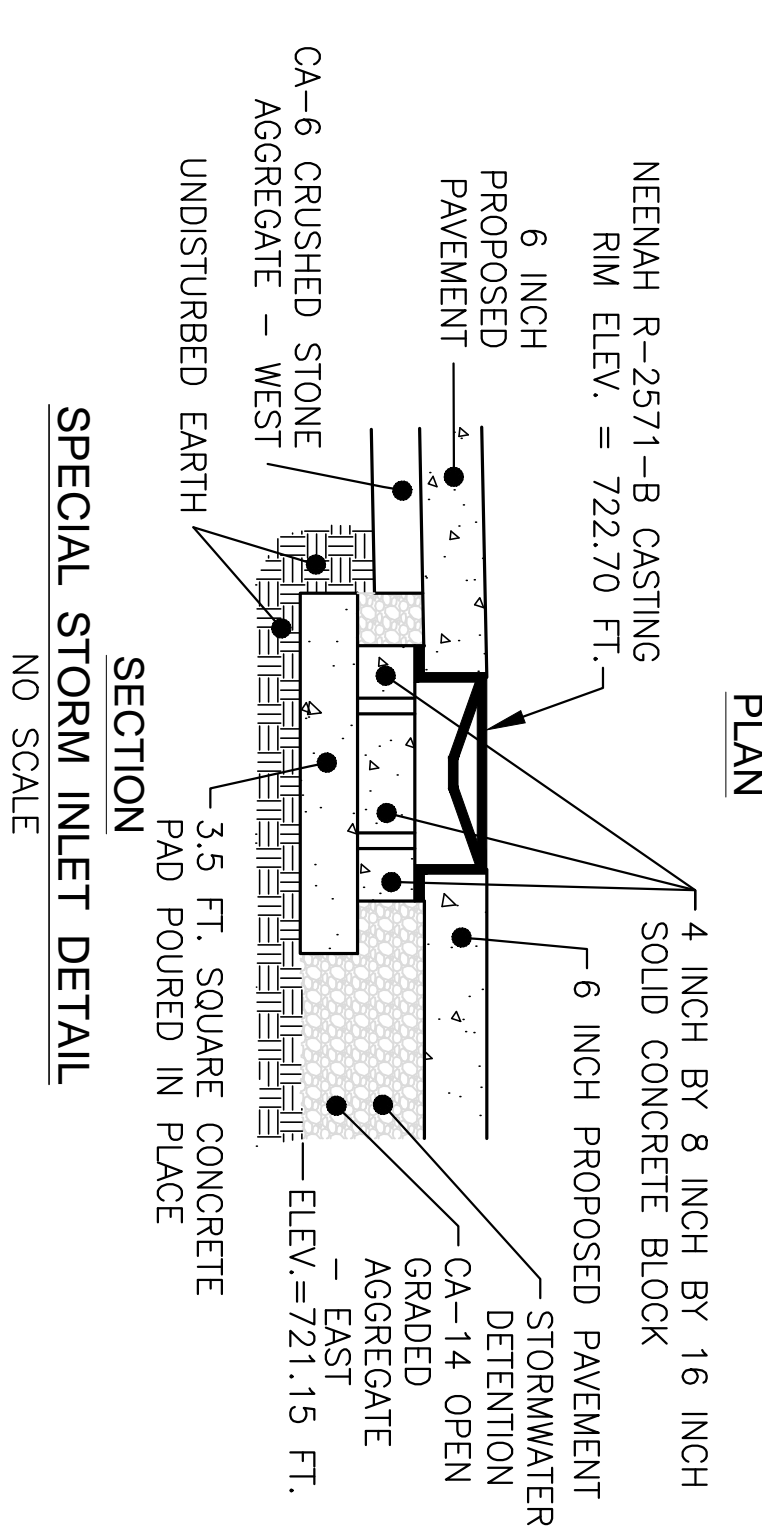
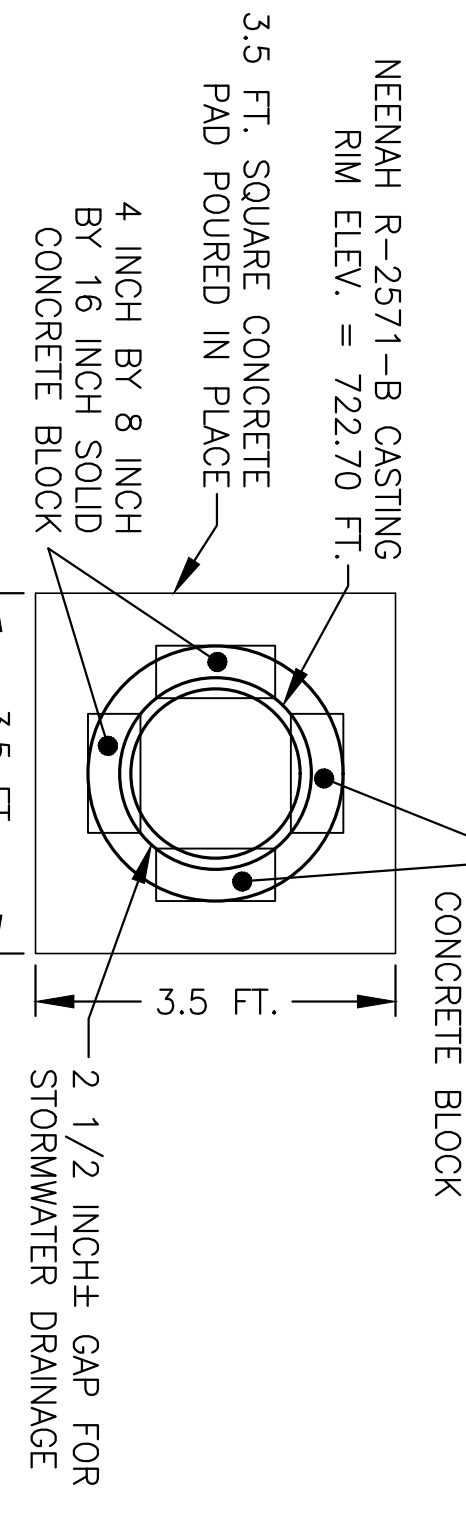
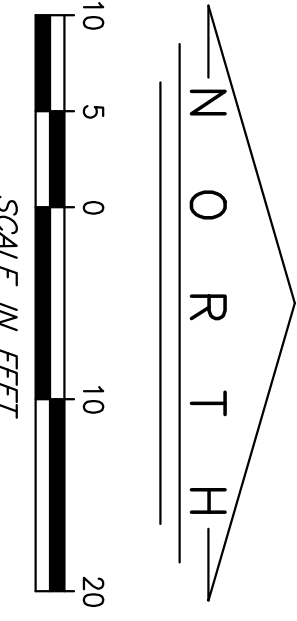
PROPOSED IDOT  
MULTI-USE PATHWAY

### LEGEND

- ISOLATION JOINT
- EXPANSION JOINT WITH SMOOTH DOWEL
- CONSTRUCTION JOINT WITH #4 REBAR
- R= CURVE RADIUS
- PC POINT-OF-CURVATURE
- PRC POINT-OF-REVERSE CURVE
- PT POINT-OF-TANGENCY
- PCC POINT-OF-COMPOUND CURVATURE

### KEYED NOTES

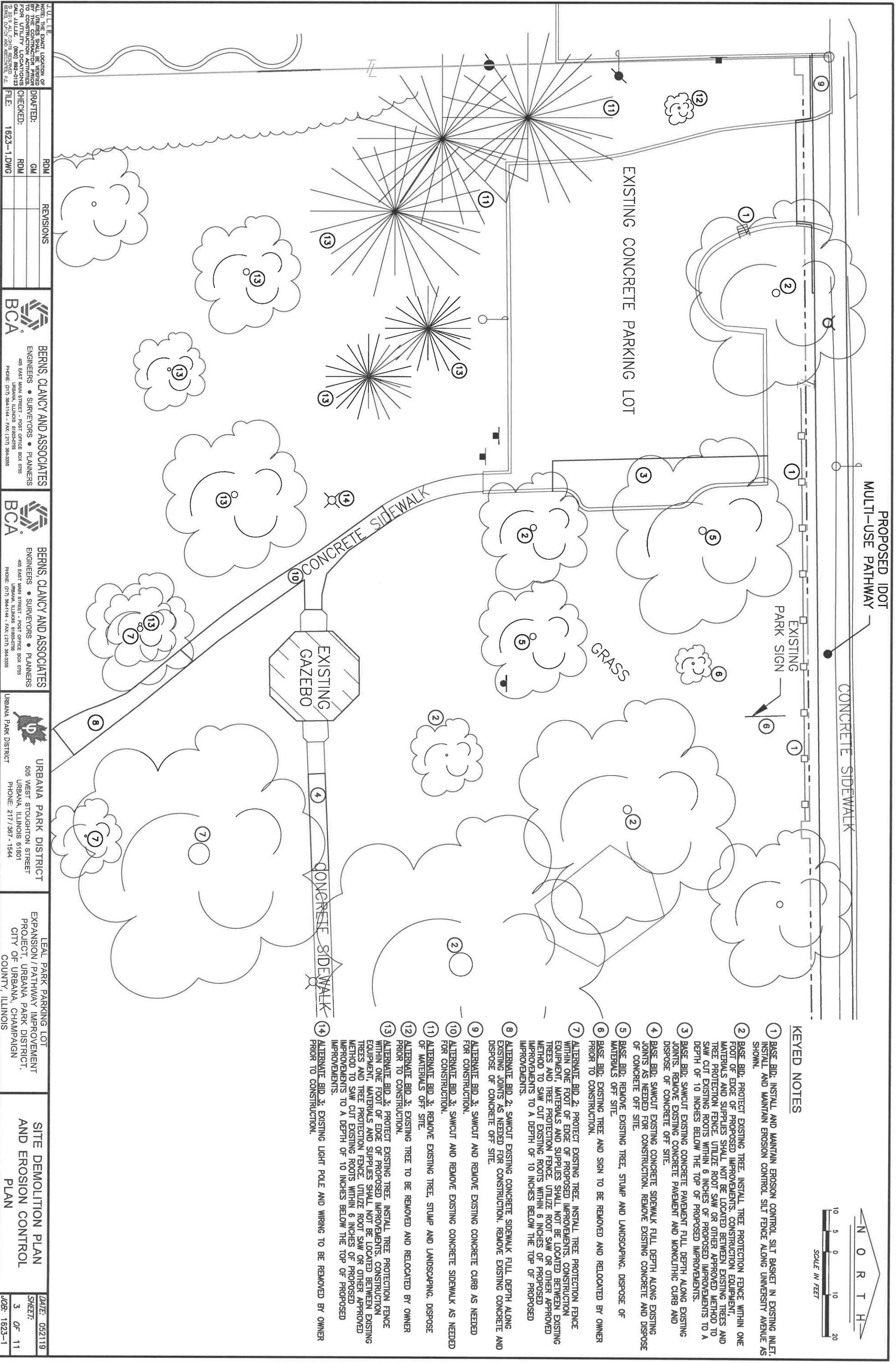
- 1 BASE BID: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE PARKING LOT WITH MONOLITHIC CURB AND OPEN GRADED CA-14 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 10.
  - 2 BASE BID: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE PARKING LOT WITH MONOLITHIC CURB AND CA-6 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 10.
  - 3 BASE BID: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE SIDEWALK WITH MINIMUM 4-INCH THICKNESS CA-6 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 9.
  - 4 BASE BID: INSTALL SPECIAL STORM INLET WITH NEEHAH R2571-B CASTING. SEE DETAIL ON THIS SHEET.
  - 5 ALTERNATE BID 1: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE SIDEWALK WITH MINIMUM 4-INCH THICKNESS CA-6 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 9.
  - 6 ALTERNATE BID 2: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE SIDEWALK/MULTIUSE PATHWAY WITH MINIMUM 4-INCH THICKNESS CA-6 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 9.
  - 7 ALTERNATE BID 3: EXCAVATE EXISTING SOILS AND CONSTRUCT 6-INCH THICKNESS FIBER REINFORCED PORTLAND CEMENT CONCRETE MULTIUSE PATHWAY WITH MINIMUM 4-INCH THICKNESS CA-6 AGGREGATE BASE MATERIAL. SEE DETAIL ON SHEET 9.
- SEE SHEET 6 FOR PARKING LOT AND PATHWAY LOCATION COORDINATE DATA.



<p><b>UTLITE</b> Call Before You Dig ONE-CALL SYSTEM</p>	<p>NOTE: THE EXACT LOCATION OF THE UTILITY SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION ACTIVITIES FOR UTILITY LOCATIONS. CALL UTLITE (800) 882-0123 FOR UTILITY LOCATIONS. BENS, CLANCY AND ASSOCIATES, P.C.</p>	<p>DATE: 05/21/19</p>
	<p>DRAFTED: GM 6/25/19/CITY OF URBANA REVIEW</p>	<p>REVISIONS</p>
<p>CHECKED: RDM 7/23/19/VARANCE REQUEST</p>	<p>FILE: 1623-1.DWG</p>	<p>JOB: 1623-1</p>
<p><b>BCA</b> BENNS, CLANCY AND ASSOCIATES ENGINEERS • SURVEYORS • PLANNERS 405 EAST MAIN STREET - POST OFFICE BOX 0795 URBANA, ILLINOIS 61803-0795 PHONE: (217) 381-1844 FAX: (217) 384-4355</p>	<p><b>URBANA PARK DISTRICT</b> 505 WEST STOUGHTON STREET URBANA, ILLINOIS 61801 PHONE: 217 / 387 - 1544</p>	<p>LEAL PARK PARKING LOT EXPANSION/PATHWAY IMPROVEMENT PROJECT, URBANA PARK DISTRICT, CITY OF URBANA, CHAMPAIGN COUNTY, ILLINOIS</p>

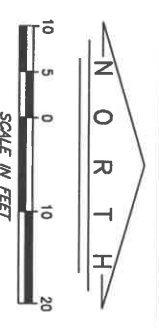


# EXHIBIT C. SITE PLANS



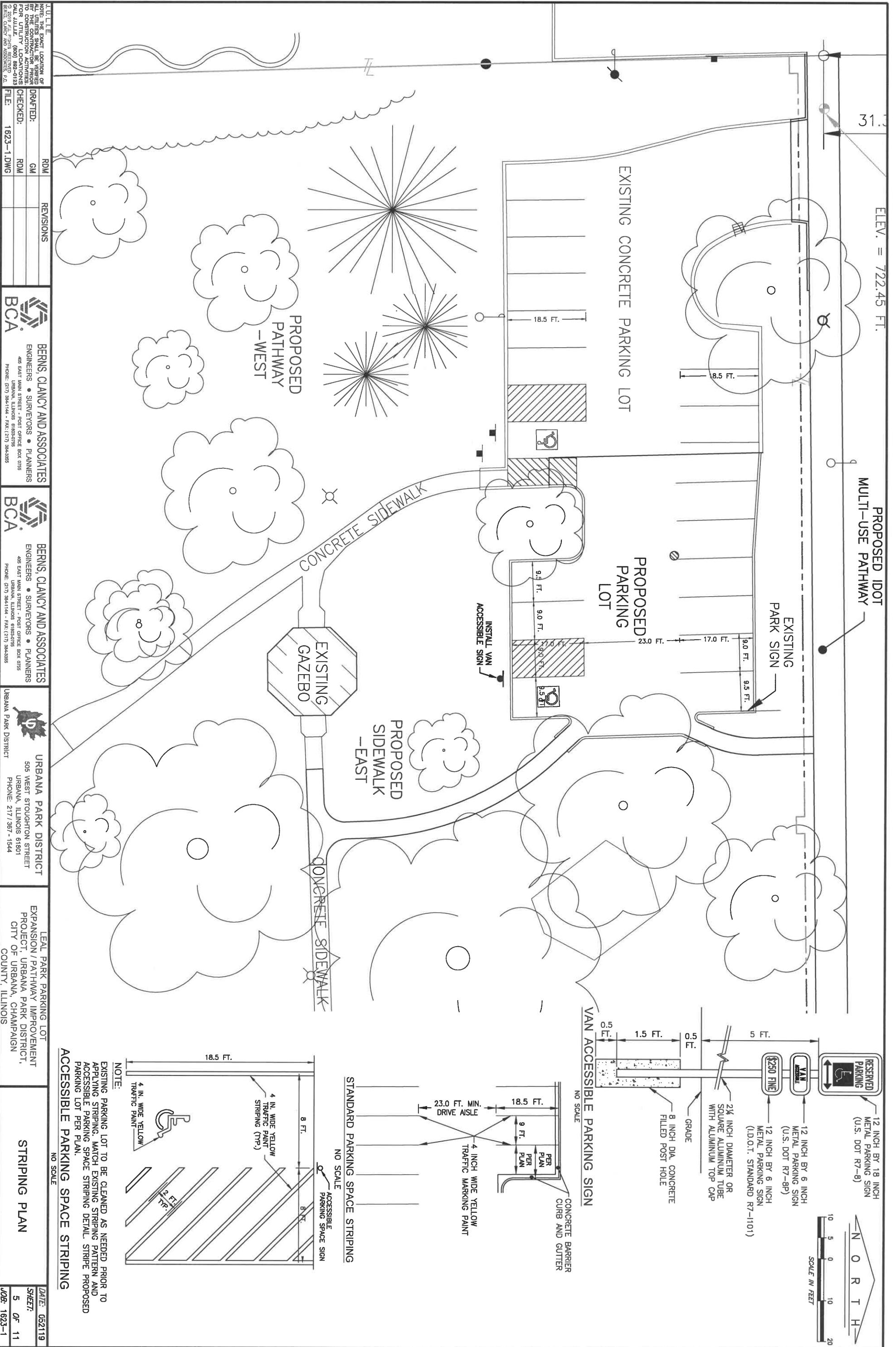
### KEYED NOTES

- 1 BASE BID: INSTALL AND MAINTAIN EROSION CONTROL SILT BASKET IN EXISTING INLET. INSTALL AND MAINTAIN EROSION CONTROL SILT FENCE ALONG UNIVERSITY AVENUE AS SHOWN.
- 2 BASE BID: PROTECT EXISTING TREE. INSTALL TREE PROTECTION FENCE WITHIN ONE FOOT OF EDGE OF PROPOSED IMPROVEMENTS. CONSTRUCTION EQUIPMENT, MATERIALS AND SUPPLIES SHALL NOT BE LOCATED BETWEEN EXISTING TREES AND TREE PROTECTION FENCE. UTILIZE ROOT SAW OR OTHER APPROVED METHOD TO SAW CUT EXISTING ROOTS WITHIN 6 INCHES OF PROPOSED IMPROVEMENTS TO A DEPTH OF 10 INCHES BELOW THE TOP OF PROPOSED IMPROVEMENTS.
- 3 BASE BID: SAWCUT EXISTING CONCRETE PAVEMENT FULL DEPTH ALONG EXISTING JOINTS. REMOVE EXISTING CONCRETE PAVEMENT AND MONOLITHIC CURB AND DISPOSE OF CONCRETE OFF SITE.
- 4 BASE BID: SAWCUT EXISTING CONCRETE SIDEWALK FULL DEPTH ALONG EXISTING JOINTS AS NEEDED FOR CONSTRUCTION. REMOVE EXISTING CONCRETE AND DISPOSE OF CONCRETE OFF SITE.
- 5 BASE BID: REMOVE EXISTING TREE, STUMP AND LANDSCAPING. DISPOSE OF MATERIALS OFF SITE.
- 6 BASE BID: EXISTING TREE AND SIGN TO BE REMOVED AND RELOCATED BY OWNER PRIOR TO CONSTRUCTION.
- 7 ALTERNATE BID 2: PROTECT EXISTING TREE. INSTALL TREE PROTECTION FENCE WITHIN ONE FOOT OF EDGE OF PROPOSED IMPROVEMENTS. CONSTRUCTION EQUIPMENT, MATERIALS AND SUPPLIES SHALL NOT BE LOCATED BETWEEN EXISTING TREES AND TREE PROTECTION FENCE. UTILIZE ROOT SAW OR OTHER APPROVED METHOD TO SAW CUT EXISTING ROOTS WITHIN 6 INCHES OF PROPOSED IMPROVEMENTS TO A DEPTH OF 10 INCHES BELOW THE TOP OF PROPOSED IMPROVEMENTS.
- 8 ALTERNATE BID 2: SAWCUT EXISTING CONCRETE SIDEWALK FULL DEPTH ALONG EXISTING JOINTS AS NEEDED FOR CONSTRUCTION. REMOVE EXISTING CONCRETE AND DISPOSE OF CONCRETE OFF SITE.
- 9 ALTERNATE BID 3: SAWCUT AND REMOVE EXISTING CONCRETE CURB AS NEEDED FOR CONSTRUCTION.
- 10 ALTERNATE BID 3: SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK AS NEEDED FOR CONSTRUCTION.
- 11 ALTERNATE BID 3: REMOVE EXISTING TREE, STUMP AND LANDSCAPING. DISPOSE OF MATERIALS OFF SITE.
- 12 ALTERNATE BID 3: EXISTING TREE TO BE REMOVED AND RELOCATED BY OWNER PRIOR TO CONSTRUCTION.
- 13 ALTERNATE BID 3: PROTECT EXISTING TREE. INSTALL TREE PROTECTION FENCE WITHIN ONE FOOT OF EDGE OF PROPOSED IMPROVEMENTS. CONSTRUCTION EQUIPMENT, MATERIALS AND SUPPLIES SHALL NOT BE LOCATED BETWEEN EXISTING TREES AND TREE PROTECTION FENCE. UTILIZE ROOT SAW OR OTHER APPROVED METHOD TO SAW CUT EXISTING ROOTS WITHIN 6 INCHES OF PROPOSED IMPROVEMENTS TO A DEPTH OF 10 INCHES BELOW THE TOP OF PROPOSED IMPROVEMENTS.
- 14 ALTERNATE BID 3: EXISTING LIGHT POLE AND WIRING TO BE REMOVED BY OWNER PRIOR TO CONSTRUCTION.



TITLE: LEAL PARK PARKING LOT EXPANSION/PATHWAY IMPROVEMENT PROJECT, URBANA PARK DISTRICT, CITY OF URBANA, CHAMPAIGN COUNTY, ILLINOIS	
DRAFTED: GM	REVISIONS:
CHECKED: RDM	DATE: 05/21/19
FILE: 1623-1.DWG	SHEET: 3 OF 11
J. UTILE: THE OWNER'S LOCATION OF UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION FOR ANY UTILITIES LOCATIONS. CALL UTILE: (800) 892-0123	JOB: 1623-1
BERNS, CLANCY AND ASSOCIATES ENGINEERS • SURVEYORS • PLANNERS 405 EAST MAIN STREET - POST OFFICE BOX 0795 URBANA, ILLINOIS 61802-0795 PHONE: (317) 364-1144 - FAX: (317) 364-3355	URBANA PARK DISTRICT 505 WEST STOUGHTON STREET URBANA, ILLINOIS 61801 PHONE: 217/367-1544
BCA	SITE DEMOLITION PLAN AND EROSION CONTROL

# EXHIBIT C. SITE PLANS



31.5

ELEV. = 722.45 FT.

PROPOSED IDOT MULTI-USE PATHWAY

EXISTING PARK SIGN

8.5 FT.

EXISTING CONCRETE PARKING LOT

PROPOSED PARKING LOT

18.5 FT.

INSTALL VAN ACCESSIBLE SIGN

9.5 FT.

9.0 FT.

9.5 FT.

23.0 FT.

17.0 FT.

9.0 FT.

9.5 FT.

PROPOSED PATHWAY - WEST

CONCRETE SIDEWALK

EXISTING GAZEBO

PROPOSED SIDEWALK - EAST

CONCRETE SIDEWALK

12 INCH BY 18 INCH METAL PARKING SIGN (U.S. DOT R7-8)

RESERVED PARKING

VAN

250 FINE

12 INCH BY 6 INCH METAL PARKING SIGN (U.S. DOT R7-8P)

12 INCH BY 6 INCH METAL PARKING SIGN (I.D.O.T. STANDARD R7-1101)

2 1/4 INCH DIAMETER OR SQUARE ALUMINUM TUBE WITH ALUMINUM TOP CAP

8 INCH DIA. CONCRETE FILLED POST HOLE

GRADE

5 FT.

0.5 FT.

1.5 FT.

0.5 FT.

VAN ACCESSIBLE PARKING SIGN

NO SCALE

CONCRETE BARRIER CURB AND GUTTER

PER PLAN PER PLAN

18.5 FT.

9 FT.

4 INCH WIDE YELLOW TRAFFIC MARKING PAINT

23.0 FT. MIN. DRIVE AISLE

STANDARD PARKING SPACE STRIPING

NO SCALE

ACCESSIBLE PARKING SPACE SIGN

8 FT.

4 IN. WIDE YELLOW STRIPING (TYP.)

8 FT.

4 IN. WIDE YELLOW TRAFFIC PAINT

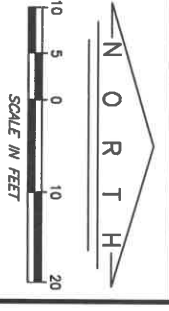
18.5 FT.

4 IN. WIDE YELLOW TRAFFIC PAINT

NOTE: EXISTING PARKING LOT TO BE CLEANED AS NEEDED PRIOR TO APPLYING STRIPING. MATCH EXISTING STRIPING PATTERN AND ACCESSIBLE PARKING SPACE STRIPING DETAIL. STRIPE PROPOSED PARKING LOT PER PLAN.

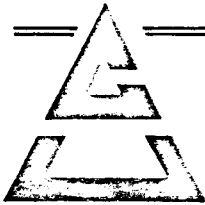
ACCESSIBLE PARKING SPACE STRIPING

NO SCALE



<p>NOTE: THE EXACT LOCATION OF THE CONSTRUCTION PRICES TO BE APPLIED TO THIS PROJECT WILL BE DETERMINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION ACTIVITIES.</p> <p>DATE: 05/21/19 SHEET: 5 OF 11 JOB: 1623-1</p>	<p>DRAFTED: GM</p>	<p>REVISIONS</p>	<p>BCA</p>	<p>BCA</p>	<p>URBANA PARK DISTRICT</p>	<p>LEAL PARK PARKING LOT EXPANSION / PATHWAY IMPROVEMENT PROJECT, URBANA PARK DISTRICT, CITY OF URBANA, CHAMPAIGN COUNTY, ILLINOIS</p>
	<p>CHECKED: RDM</p>	<p>FILE: 1623-1.DWG</p>	<p>BERNS, CLANCY AND ASSOCIATES ENGINEERS • SURVEYORS • PLANNERS 405 EAST MAIN STREET - POST OFFICE BOX 075 URBANA, ILLINOIS 61801 PHONE: (217) 384-1144 - FAX: (217) 384-3855</p>	<p>BERNS, CLANCY AND ASSOCIATES ENGINEERS • SURVEYORS • PLANNERS 405 EAST MAIN STREET - POST OFFICE BOX 075 URBANA, ILLINOIS 61801 PHONE: (217) 384-1144 - FAX: (217) 384-3855</p>	<p>505 WEST STOUGHTON STREET URBANA, ILLINOIS 61801 PHONE: 217/387-1544</p>	

# EXHIBIT D: 1987 BUILDING PERMIT (EXCERPT)



## CITY OF URBANA

400 SOUTH VINE STREET • P.O. BOX 219 • URBANA, ILLINOIS 61801-0219

TREE CITY, USA

A NICE PLACE TO LIVE

COMMUNITY DEVELOPMENT

115 W. Main, P.O. Box 946

June 16, 1987

Gregory C. Hargus  
Project Member  
Preservation and Conservation Association  
Box 2555, Station A  
Champaign, IL 61820

RE: Workman's Cottage/303 W. University  
(Leal Park)  
PI: #91-21-08-376-012

Dear Greg:

The following comments are based on a review of the plans submitted for the proposed remodeling/restoration of the Workman's Cottage in Leal Park. Please respond in writing, detailing the manner in which you will comply.

### Zoning

1. Use of the structure is limited to uses compatible with and recognized by the Urbana Zoning Ordinance for a CRE (Conservation, Education, Recreation) zone. Limited office space for Not-for-Profit organizations is acceptable. Each tenant must obtain a Certificate of Occupancy prior to occupying the structure.
2. Parking must be provided at a rate of one space per each 300 square feet of gross floor area.

### Building Codes

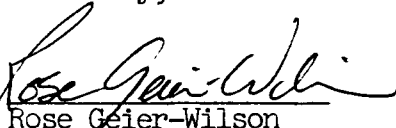
1. Use of the basement by fifty or more persons will require the addition of a separate remote means of egress.
2. Emergency lighting must be wired to main lighting circuit (NEC-700-17).
3. Exit signs must have alternate source of backup power (batteries, etc.) (NEC-701-11).
4. Outdoor air shall be ducted to furnace to provide ventilation as prescribed in mechanical code.

## EXHIBIT D: 1987 BUILDING PERMIT (EXCERPT)

5. Ventilation system shall operate continuously or shall be equipped with controls for automatic operation during periods of occupancy.
6. Toilet rooms shall be provided with exhaust of minimum 40 CFM each.
7. Floor drain in conference room is not required.
8. Condensate drain and relief valve piping shall discharge into floor drains or sump pit.
9. Combustion air shall be provided for furnace/water heater room.
10. Water service and sanitary sewer shall be separated 10' horizontally or 18" vertically with the water service on the top.
11. Water service shall be one inch (1") minimum.
12. Sanitary sewer and building drain shall be four inch (4") minimum.
13. Verify storm water sump pump discharge.
14. Sprinkler protection is required for the furnace room.

All work is to be in conformance with the adopted codes and ordinances of the City of Urbana. Electrical work is to be done by a City licensed electrician; all plumbing work to be done by a State licensed plumber. If you have any questions regarding these requirements, please feel free to call or stop by our office.

Sincerely,

  
Rose Geier-Wilson  
Building Inspector  
Telephone: 384-2430

RGW/sp

# EXHIBIT D: 1987 BUILDING PERMIT (EXCERPT)



## BERNS, CLANCY AND ASSOCIATES

PROFESSIONAL CORPORATION

CONSULTING ENGINEERS • LAND SURVEYORS • PLANNERS

~~THOMAS B. BERNES~~  
THOMAS B. BERNES  
EDWARD L. CLANCY

CHRISTOPHER BILLING

DONALD WAUTHIER  
KAREN SOMMERLAD  
BARBARA ARENS  
STEVEN SCHMIDT  
JEFFREY BURLEW  
NORMAN BROWN

October 7, 1987

OCT  
8 1987

Commissioners  
Urbana Park District  
901 North Broadway Avenue  
Urbana, IL 61801

RE: STATUS REPORT - Leal Park Improvements, Urbana Park District, Urbana,  
Champaign County, Illinois

Dear Ladies and Gentlemen:

At your September meeting, you decided to lease the Greek Revival Cottage which is being renovated in Leal Park to the International Society of Arboriculture. That arrangement resulted in a need for parking and sidewalk access for the cottage. We were immediately directed to design and prepare plans and specifications in order to receive bids in advance of the October Board Meeting so a contract for construction could be awarded. Over the next few weeks, we met with Robin Hall and Mike Spencer to refine the scope of the work.

The project currently out for bid includes:

1. a 12-space concrete parking lot which includes one handicap space .
2. concrete sidewalks to the cottage.
3. ramps for handicap accessibility to both the first floor and basement floor.
4. terraces around the basement access for landscaping.
5. grading to assure proper drainage away from the building.
6. replacement of existing sidewalks in the park that are in a deteriorated and hazardous condition.
7. installation of ramps to the gazebo to make it handicap accessible.

Attached are reduced copies of sheets 2 and 3 of the Plans which shows the parking lot, sidewalks to the cottage and overall improvements throughout the park. A complete set of full-size Plans and Contract Documents and Specifications are on file in the Park District Office and are available for your inspection. Because of the lateness of the season for this project, seeding and landscaping cannot be done until spring and are not included in the work.

Attached is our Engineer's Opinion of Estimated Costs for the proposed improvements in a total amount of \$46,300. Our intention was to estimate somewhat on the high side of this year's prices since it is hard to ascertain the level of competitive bidding to take place at the end of the construction season. It is our hope that most bids will come in under our estimate but it is impossible to forecast the interest from contractors at this time of year. We have set up the documents to take unit price bids so portions of a work item or an entire item can be deleted if in the best interest of the Park District. At the time of preparation of this status report, four contractors have picked up the Plans and Specifications for potential bidding.



# EXHIBIT D: 1987 BUILDING PERMIT (EXCERPT)

Commissioners  
Urbana Park District  
October 7, 1987  
Page 2

In general, the overall project schedule is as follows:

- Sept. 8 Park District Board decided to lease cottage necessitating the need for parking and sidewalk access to the cottage.
- Sept. 9 Berns, Clancy and Associates received authorization from Robin Hall to proceed with design and preparation of Plans and documents for bidding.
- Sept. 28 and 29 Notice to Bidders for the work appeared in the News Gazette. Bidding period starts.
- Oct. 13 Bid opening at the Urbana Park District Office at 4:00 p.m. Bid evaluation and recommendation of award. Park District Board to act on award of project at their regular meeting that evening. Contracts and other documents are to be signed as soon as possible.
- Late Oct. or Early Nov. Start of Construction.
- Late Dec. End of Construction period.

The entrance from University Avenue requires an Illinois Department of Transportation Entrance Permit. The documents requesting the permit have been sent to the IDOT Paris office. We anticipate, at the worst, only a minor delay in starting that portion of the work, but it should not impact the completion date for the project. Copies of the Plans have also been submitted to Bruce Walden and Balbir Kindra of the City of Urbana for their review.

We appreciate this opportunity to be of assistance to you. We will continue to update you as to the project status as work progresses. If you have any questions regarding the project, please feel free to contact us.

Sincerely,

BERNS, CLANCY AND ASSOCIATES, P.C.

*Chris Billing*

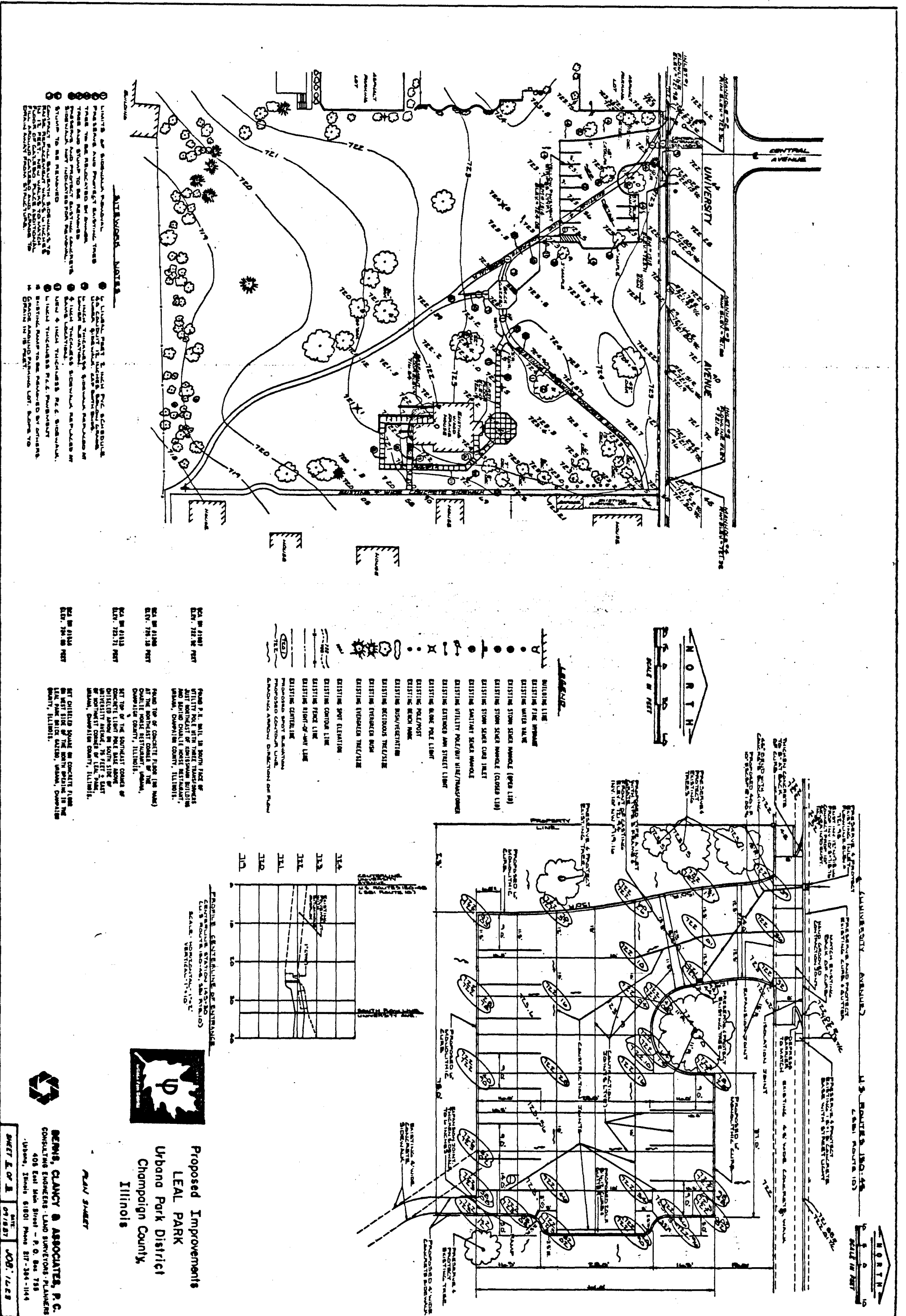
Chris Billing, Project Engineer

CB:etm  
cc: Bill Kruidenier  
Bruce Walden ✓  
1623SRUP.6

Balbir Kindra  
Jim Grassman

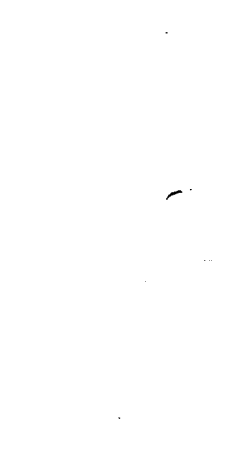


# EXHIBIT D: 1987 BUILDING PERMIT (EXCERPT)



- NOTES**
1. LIMITS OF SUBMITTAL INDICATED BY DASHED LINE.
  2. PROPOSED AND EXISTING UTILITIES SHOWN.
  3. THESE TO BE RELOCATED BY OWNER.
  4. THESE AND STUMPS TO BE REMOVED.
  5. PROPOSED AND EXISTING UTILITIES SHOWN.
  6. STUMPS TO BE REMOVED.
  7. EXISTING UTILITIES TO BE RELOCATED BY OWNER.
  8. EXISTING UTILITIES TO BE RELOCATED BY OWNER.
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  15. EXISTING UTILITIES TO BE RELOCATED BY OWNER.
  16. EXISTING UTILITIES TO BE RELOCATED BY OWNER.
  17. EXISTING UTILITIES TO BE RELOCATED BY OWNER.
  18. EXISTING UTILITIES TO BE RELOCATED BY OWNER.
  19. EXISTING UTILITIES TO BE RELOCATED BY OWNER.
  20. EXISTING UTILITIES TO BE RELOCATED BY OWNER.

- LEGEND**
- BUILDING LINE
  - EXISTING FIRE WHEEL
  - EXISTING WATER MAIN
  - EXISTING STORM SEWER MANHOLE (8" DIA. 10')
  - EXISTING STORM SEWER MANHOLE (12" DIA. 10')
  - EXISTING STORM SEWER CATCH BASIN
  - EXISTING UTILITY POLE/BUY WIRE/TRANSFORMER
  - EXISTING EXTENDED AIR STREET LIGHT
  - EXISTING ABOVE POLE LIGHT
  - EXISTING POLE/POST
  - EXISTING BENCH MARK
  - EXISTING SIGN/VEGETATION
  - EXISTING RECURVED TREE/SIZE
  - EXISTING SPREADER BUSH
  - EXISTING EVERGREEN TREE/SIZE
  - EXISTING SPOT ELEVATION
  - EXISTING CONTOUR LINE
  - EXISTING FENCE LINE
  - EXISTING SIGN-OR-LAMP LINE
  - EXISTING CENTERLINE
  - PROPOSED SPOT ELEVATION
  - PROPOSED CONTOUR LINE
  - GRAPHICAL ARROW DIRECTION OF FLOW



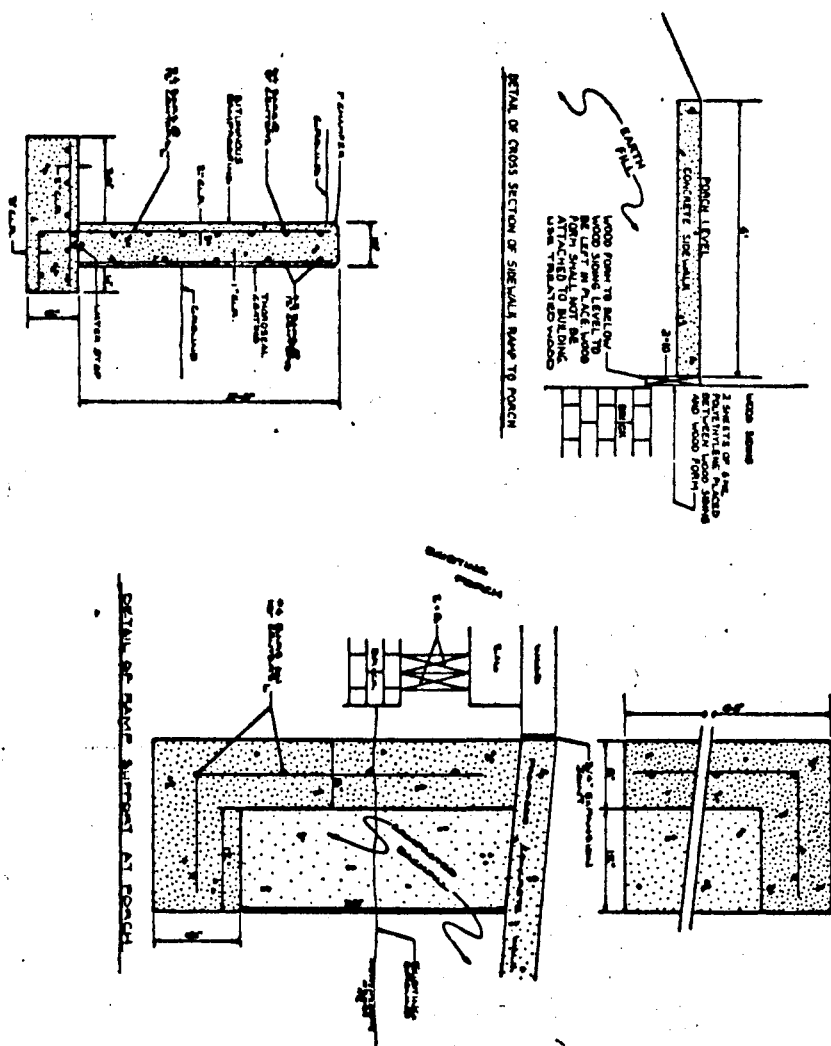
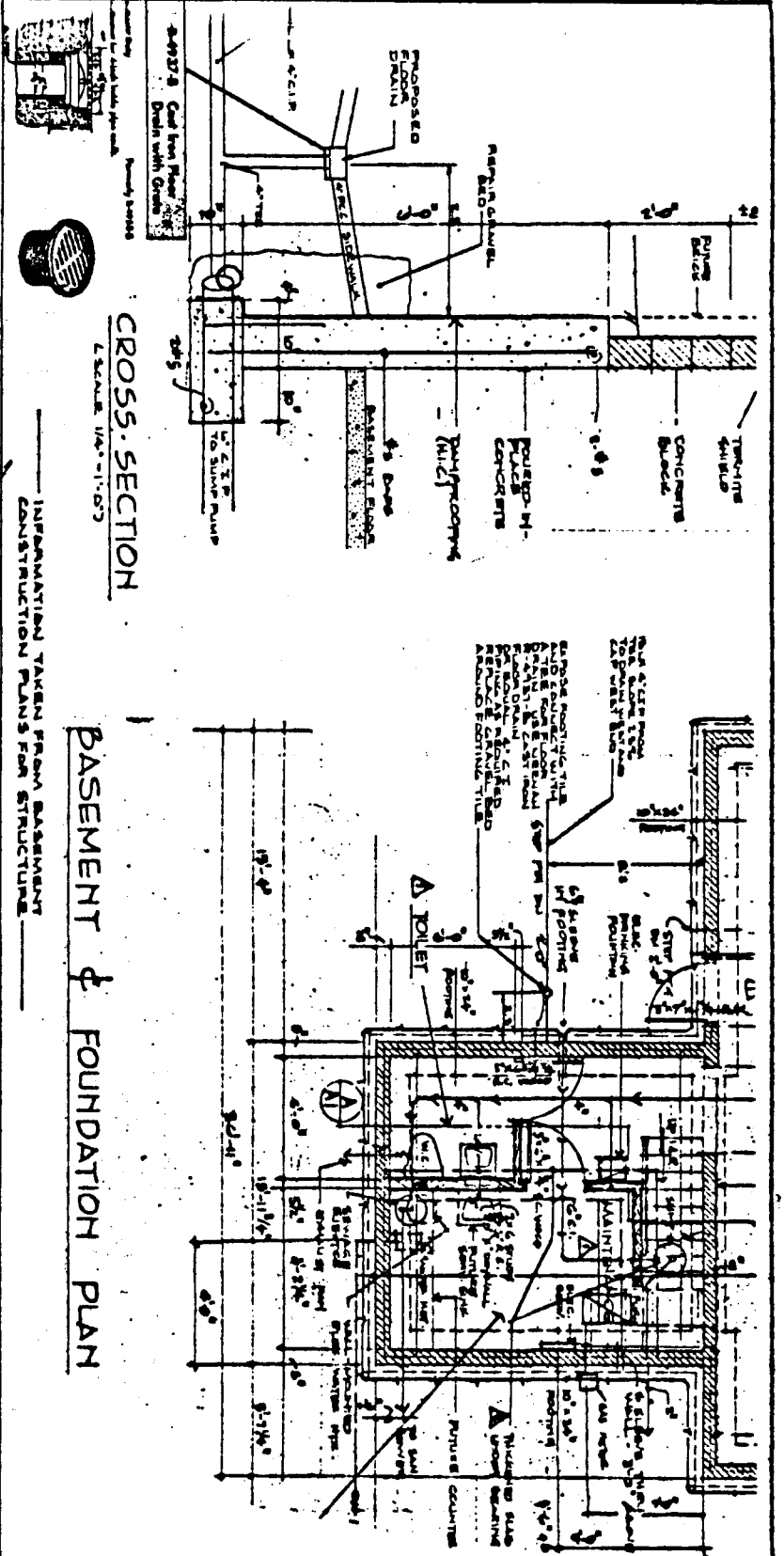
**Proposed Improvements**  
**LEAL PARK**  
 Urbana Park District  
 Champaign County,  
 Illinois

**PLANNING SHEET**

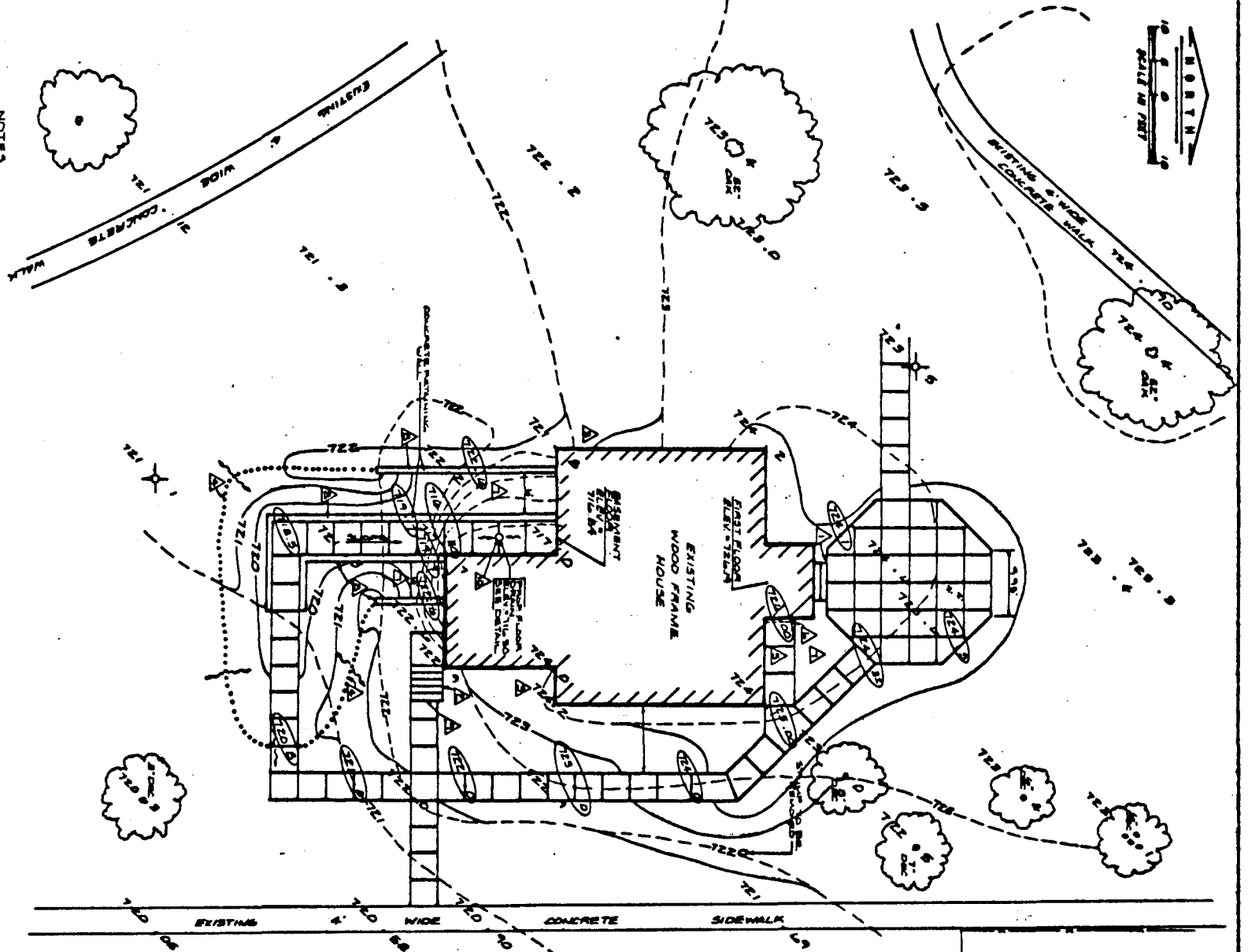
**BURNS, CLANCY & ASSOCIATES, P.C.**  
 CONSULTING ENGINEERS, LAND SURVEYORS & PLANNERS  
 405 East Main Street - P. O. Box 755  
 Urbana, Illinois 61801 Phone 815-384-1144

**SHEET E OF 5** DATE: 09/1987 JOB: 1223

# EXHIBIT D: 1987 BUILDING PERMIT (EXCERPT)



- EXISTING WALLS**
1. CONCRETE WALLS TO BE REMOVED WITH THE EXISTING WALLS.
  2. CONCRETE WALLS TO BE REMOVED WITH THE EXISTING WALLS.
  3. CONCRETE WALLS TO BE REMOVED WITH THE EXISTING WALLS.
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- NOTES**
1. SEE SHEET 2 FOR DETAILS OF WOOD STEPS.
  2. SEE SHEET 2 FOR DETAILS OF WOOD STEPS.
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  20. SEE SHEET 2 FOR DETAILS OF WOOD STEPS.

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**LEAL PARK**  
 Urbana Park District  
 Champaign County,  
 Illinois

**COTTAGE 3/178 PLAN**  
 RAFTER AND WALL DETAILS

**SHEET 2 OF 2** DATE: 07/19/87 JOB: 1523